

THIS IS A TWO-SIDED DOCUMENT

 <p><b>NEW YORK</b> STATE OF OPPORTUNITY.</p> <p><b>Adirondack Park Agency</b></p> <p>P.O. Box 99, 1133 NYS Route 86 Ray Brook, New York 12977 Tel: (518) 891-4050 www.apa.ny.gov</p>	<p>APA Permit <b>2022-0160</b></p>
<p>In the Matter of the Application of</p> <p><b>ADIRONDACK MT LAND, LLC</b> <b>Permittee</b></p> <p>for a permit pursuant to § 809 of the Adirondack Park Agency Act and 9 NYCRR Part 578</p>	<p>Date Issued: December 1, 2022</p> <p>To the County Clerk: Please index this permit in the grantor index under the following names: <b>1. Adirondack Mt Land, LLC</b></p>

**SUMMARY AND AUTHORIZATION**

This permit authorizes a two-lot subdivision and the construction of one single family dwelling in an area classified Low Intensity Use and Rural Use on the Adirondack Park Land Use and Development Plan Map in the Town of Town of Crown Point, Essex County.

This authorization shall expire unless recorded in the Essex County Clerk's Office within 60 days of issuance of a signed and notarized permit. The signed and notarized permit shall be recorded in the names of all persons listed above and in the names of all owners of record of any portion of the project site on the recordation date.

The project shall not be undertaken or continued unless the project authorized herein is in existence within five years of the date the permit is recorded in the County Clerk's Office. The Agency will consider the project in existence when an authorized lot has been conveyed to an outside party.

The project shall be undertaken in compliance with all conditions stated herein. Failure to comply with this permit is a violation and may subject the permittee, successors, and assigns to civil penalties and other legal proceedings.

This permit does not convey any right to trespass upon the lands or interfere with the riparian rights of others in order to undertake the authorized project, nor does it authorize the impairment of any easement, right, title or interest in real or personal property.

Nothing contained in this permit shall be construed to satisfy any legal obligations of the permittee to comply with all applicable laws and regulations or to obtain any governmental approval or permit from any entity other than the Agency, whether federal, State, regional, or local.

### **PROJECT SITE**

The project site is a 235±-acre parcel of land located on Creek Road in the Town of Crown Point, Essex County, in an area classified Low Intensity Use and Rural Use on the Adirondack Park Land Use and Development Plan Map. The site is identified as Tax Map Section 127.4, Block 1, Parcels 22.060 and 59.000, and is described in a deed from Amy Hill, LLC to Adirondack Mt. Land, LLC, dated April 26, 2022, and recorded May 18, 2022 in the Essex County Clerk's Office at Book 2083, Page 265.

The project site contains shoreline on Putnam Creek and contains wetlands with a value rating of "2". Additional wetlands not described herein or depicted on the Site Plan may be located on or adjacent to the project site.

The project site was created as "Lot 2" in a two-lot subdivision as authorized by Agency Permit 2021-0257.

### **PROJECT DESCRIPTION**

The project as conditionally approved herein involves a two lot subdivision creating a 25.38±-acre Low Intensity Use parcel to be improved by a single family dwelling (Lot 1) and a 210.27±-acre vacant Rural Use parcel.

The project is shown on the following plans:

- The entire property and subdivision are depicted on "Map of a Survey Prepared for Adirondack Mt. Land LLC, Amy Hill LLC property" (Subdivision Plan), prepared by Sheppard Land Surveying, received by the Agency October 11, 2022.
- The location of the building site and details of the single family dwelling are depicted on a plan title "Proposed Building Site" (Site Plan), prepared by Sheppard Land Surveying, received by the Agency October 11, 2022.
- The details of the on-site wastewater treatment system and driveway culvert crossings are depicted on a six-page plan titled "Adirondack Mt. Land LLC Amy Hill Rd. Subdivision" (Septic Plan), prepared by Mark J. Buckley, dated October 7, 2022.

A reduced-scale copy of the Site Plan and Septic Plan for the project are attached as a part of this permit for reference.

### **AGENCY JURISDICTION**

Pursuant to Section 809(2)(a) of the Adirondack Park Agency Act and Adirondack Park Agency regulations at 9 NYCRR Part 578, a permit is required from the Adirondack Park Agency prior to any subdivision involving wetlands in the Adirondack Park.

This permit amends Condition 5 of Permit 2021-0257.

### **CONDITIONS**

#### **THE PROJECT IS APPROVED SUBJECT TO THE FOLLOWING CONDITIONS:**

1. The project shall not be undertaken until this permit has been recorded in the Essex County Clerk's Office.

2. This permit is binding on the permittee, all present and future owners or lessees of the project site, and all persons undertaking all or a portion of the project. Copies of this permit and Site Plan and Septic Plan shall be furnished by the permittee to all subsequent owners or lessees of the project site prior to sale or lease, and by the permittee and/or any subsequent owner or lessee to all persons undertaking any development activities authorized herein.
3. In addition to complying with all terms and conditions of this permit, all future activities on the project site shall be undertaken in compliance with the requirements of New York State's Adirondack Park Agency Act, Freshwater Wetlands Act, and the Adirondack Park Agency's implementing regulations [9 NYCRR §§ 570-588].
4. This permit amends and supersedes Permit 2021-0257 in relation to the project site. The terms and conditions of Permit 2021-0257 shall no longer apply to the project site.
5. All deeds conveying all or a portion of the lands subject to this permit shall contain references to this permit as follows: "The lands conveyed are subject to Adirondack Park Agency Permit 2022-0160, issued December 1, 2022, the conditions of which are binding upon the heirs, successors and assigns of the grantors and all subsequent grantees."
6. Subject to the conditions stated herein, this permit authorizes a two-lot subdivision as depicted on the Site Plan. Any subdivision the project site not depicted on the Site Plan shall require prior written Agency authorization.
7. Subject to the conditions stated herein, this permit authorizes the construction of one single family dwelling on Lot 1 in the location, footprint, and height shown and as described on the Site Plan. Any change to the location or dimensions of any authorized structure shall require prior written Agency authorization.
8. The construction of any additional dwelling or other principal building on Lot 1 shall require prior written Agency authorization. The construction of any accessory structure on Lot 1 outside the limits of clearing shall require prior written Agency authorization.
9. Construction of any guest cottage on Lot 1 shall require prior written Agency approval.
10. The undertaking of any new land use or development on Lot 2 shall require a new or amended permit.
11. Any on-site wastewater treatment system(s) on Lot 1 installed within five years of the date of issuance of this permit shall be constructed in conformance with the location and design shown on the Septic Plan. Construction of the system shall be supervised by a New York State design professional (licensed engineer or registered architect). Within 30 days of complete system installation and prior to its utilization, the design professional shall provide written certification to the Agency that the system was built in compliance with the approved plans.

No on-site wastewater treatment system shall be installed on the project site more than five years after the date of issuance of this permit except pursuant to written authorization from the Agency.

12. Installation of any on-site wastewater treatment system(s) on Lot 2 shall require prior written Agency approval.
13. When brought from off-site, all equipment, including but not limited to trucks, excavators, tractors, etc., and hand excavation tools such as shovels, rakes, and picks, to be used on the project site shall be clean and free of soil, mud, or other similar material. If washed on the project site, equipment shall be washed in one location to prevent the distribution of propagules among different wash sites.
14. Any new free-standing or building-mounted outdoor lights shall employ full cut-off fixtures that are fully shielded to direct light downward and not into the sky or toward Creek Road or adjoining property.
15. Between April 1 and October 31, no trees shall be removed or disturbed on the project site without prior written Agency authorization.
16. The undertaking of any activity involving wetlands shall require a new or amended permit.
17. There shall be no more than eight principal buildings located on Lot 1 at any time. The single family dwelling authorized herein constitutes a principal building. The Agency makes no assurances that the maximum development mathematically allowed can be approved.
18. There shall be no more than 24 principal building(s) located on Lot 2. The Agency makes no assurances that the maximum development mathematically allowed can be approved.

**CONCLUSIONS OF LAW**

The Agency has considered all statutory and regulatory criteria for project approval set forth in the Adirondack Park Agency Act, the Freshwater Wetlands Act and 9 NYCRR Part 578, and 9 NYCRR Part 574. The Agency hereby finds that the subdivision authorized as conditioned herein:

- a. will be consistent with the land use and development plan;
- b. will be compatible with the character description and purposes, policies, and objectives of the Low Intensity Use and Rural Use land use areas;
- c. will be consistent with the overall intensity guidelines for the Low Intensity Use and Rural land use areas;
- d. will comply with the shoreline restrictions of § 806 of the Adirondack Park Agency Act;
- e. will not have an undue adverse impact upon the natural, scenic, aesthetic, ecological, wildlife, historic, recreational or open space resources of the Park or upon the ability of the public to provide supporting facilities and services made necessary by the project;
- f. will secure the natural benefits of wetlands associated with the project, consistent with the general welfare and beneficial economic, social, and agricultural development of the state; and
- g. will be compatible with preservation of the entire wetland and will not result in degradation or loss of any part of the wetland or its associated values.

PERMIT issued this 1st day  
of December, 2022.

ADIRONDACK PARK AGENCY

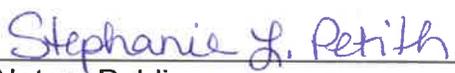
BY: \_\_\_\_\_

  
John M. Burth  
Environmental Program Specialist 3 (EPS3)

STATE OF NEW YORK  
COUNTY OF ESSEX

On the 1st day of December in the year 2022, before me, the undersigned, a Notary Public in and for said State, personally appeared John M. Burth, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that they executed the same in their capacity, and that by their signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

STEPHANIE L. PETITH  
Notary Public - State of New York  
Qualified in Franklin County  
No. 01PE6279890  
Commission Expires Apr. 15, 2025

  
Notary Public




**RECEIVED**  
 Date: October 11, 2022

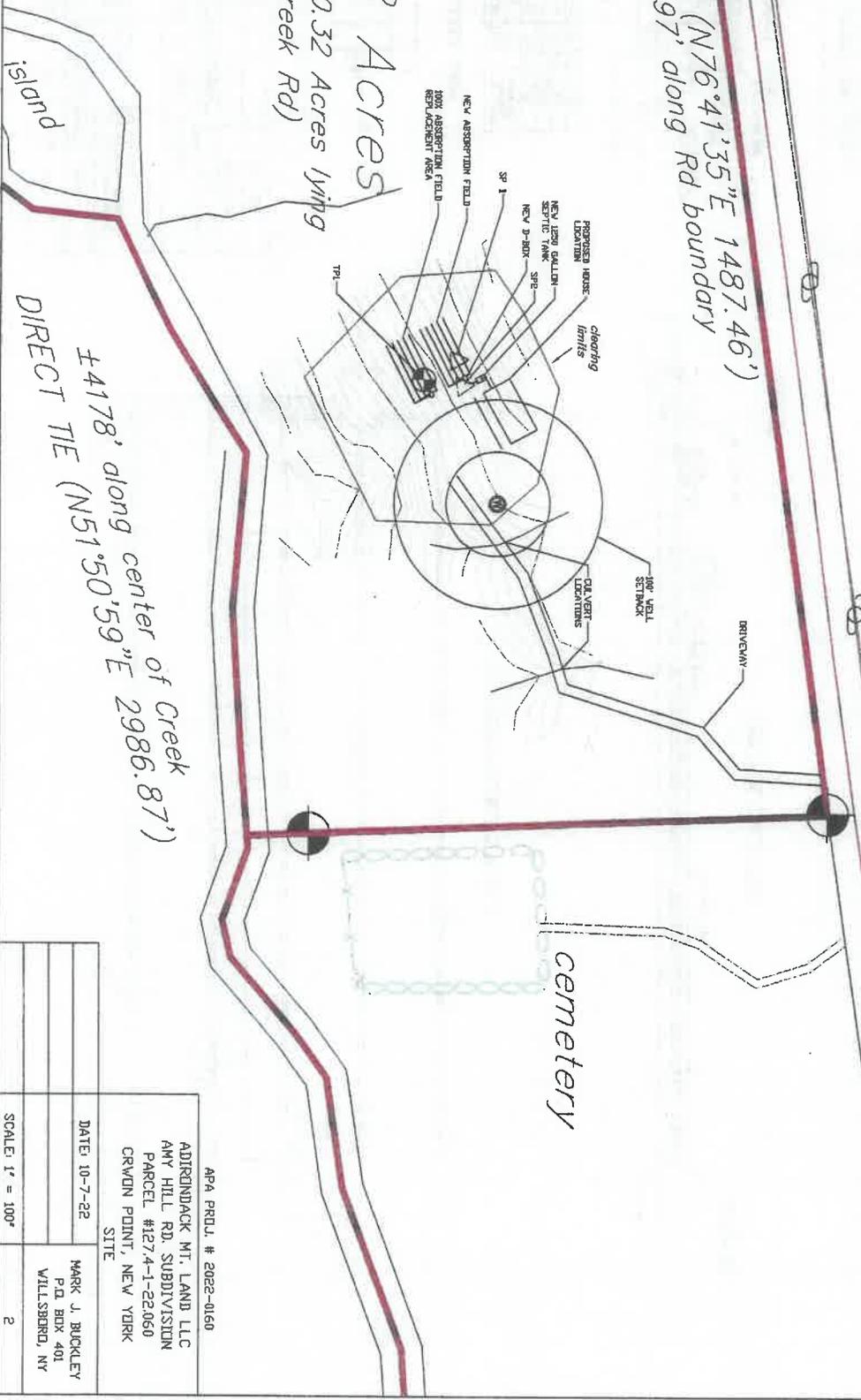

**FINAL**  
 P2022-0160



(49.5' wide ROW assumed)  
**Creek Road**

DIRECT TIE (N76°41'35"E 1487.46')  
 1511.97' along Rd boundary

Lot 1  
**25.38 Acres**  
 (including 0.32 Acres lying  
 north of Creek Rd)



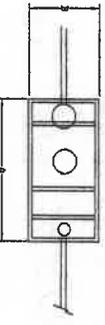
APA PROJ. # 2022-0160 ADIRONDACK MT. LAND LLC AMY HILL RD. SUBDIVISION PARCEL #1274-1-22.060 CROWD POINT, NEW YORK SITE	
DATE: 10-7-22	MARK J. BUCKLEY
	P.O. BOX 401
	WILLSBORO, NY
SCALE: 1" = 100'	2

TEST PIT 1, DEEP HOLE INVESTIGATION BY APA (9/7/22)

TEST HOLE DEPTH	SHGV	BENCHMARK	HORIZ. DEPTH	USDA TEXTURE	MANSELL COLOR
TP 1	72'	>48'	>72'		
			Ap	0-14"	SILT LOAM
			Bs	14-30"	SILT LOAM
			C	30-40"	FINE SAND
				50-60"	(COARSE SAND)
				60-70"	(COARSE SAND)
				70-80"	(COARSE SAND)
				80-90"	(COARSE SAND)
				90-100"	(COARSE SAND)
				100-110"	(COARSE SAND)
				110-120"	(COARSE SAND)
				120-130"	(COARSE SAND)
				130-140"	(COARSE SAND)
				140-150"	(COARSE SAND)
				150-160"	(COARSE SAND)
				160-170"	(COARSE SAND)
				170-180"	(COARSE SAND)
				180-190"	(COARSE SAND)
				190-200"	(COARSE SAND)
				200-210"	(COARSE SAND)
				210-220"	(COARSE SAND)
				220-230"	(COARSE SAND)
				230-240"	(COARSE SAND)
				240-250"	(COARSE SAND)
				250-260"	(COARSE SAND)
				260-270"	(COARSE SAND)
				270-280"	(COARSE SAND)
				280-290"	(COARSE SAND)
				290-300"	(COARSE SAND)
				300-310"	(COARSE SAND)
				310-320"	(COARSE SAND)
				320-330"	(COARSE SAND)
				330-340"	(COARSE SAND)
				340-350"	(COARSE SAND)
				350-360"	(COARSE SAND)
				360-370"	(COARSE SAND)
				370-380"	(COARSE SAND)
				380-390"	(COARSE SAND)
				390-400"	(COARSE SAND)
				400-410"	(COARSE SAND)
				410-420"	(COARSE SAND)
				420-430"	(COARSE SAND)
				430-440"	(COARSE SAND)
				440-450"	(COARSE SAND)
				450-460"	(COARSE SAND)
				460-470"	(COARSE SAND)
				470-480"	(COARSE SAND)
				480-490"	(COARSE SAND)
				490-500"	(COARSE SAND)
				500-510"	(COARSE SAND)
				510-520"	(COARSE SAND)
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				540-550"	(COARSE SAND)
				550-560"	(COARSE SAND)
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				570-580"	(COARSE SAND)
				580-590"	(COARSE SAND)
				590-600"	(COARSE SAND)
				600-610"	(COARSE SAND)
				610-620"	(COARSE SAND)
				620-630"	(COARSE SAND)
				630-640"	(COARSE SAND)
				640-650"	(COARSE SAND)
				650-660"	(COARSE SAND)
				660-670"	(COARSE SAND)
				670-680"	(COARSE SAND)
				680-690"	(COARSE SAND)
				690-700"	(COARSE SAND)
				700-710"	(COARSE SAND)
				710-720"	(COARSE SAND)
				720-730"	(COARSE SAND)
				730-740"	(COARSE SAND)
				740-750"	(COARSE SAND)
				750-760"	(COARSE SAND)
				760-770"	(COARSE SAND)
				770-780"	(COARSE SAND)
				780-790"	(COARSE SAND)
				790-800"	(COARSE SAND)
				800-810"	(COARSE SAND)
				810-820"	(COARSE SAND)
				820-830"	(COARSE SAND)
				830-840"	(COARSE SAND)
				840-850"	(COARSE SAND)
				850-860"	(COARSE SAND)
				860-870"	(COARSE SAND)
				870-880"	(COARSE SAND)
				880-890"	(COARSE SAND)
				890-900"	(COARSE SAND)
				900-910"	(COARSE SAND)
				910-920"	(COARSE SAND)
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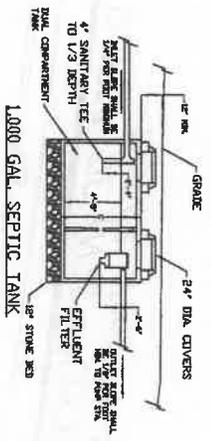
PERCOLATION TEST RATES BY MARK BUCKLEY

TEST HOLE	DEPTH	PERC. RATE (GAL./DAY)	DATE
SP 1	16	9	9/7/22
SP 2	16	7	9/7/22



1,000 GAL. SEPTIC TANK

OUTSIDE DIMENSIONS	NON-LOAD SURFACE AREA (SQ. FT.)		
	A	B	C
1,000	8'-1"	5'-8"	5'-0"
1,250	10'-4"	5'-8"	5'-0"
1,500	12'-1"	5'-8"	5'-0"
1,750	12'-10"	6'-8"	5'-0"

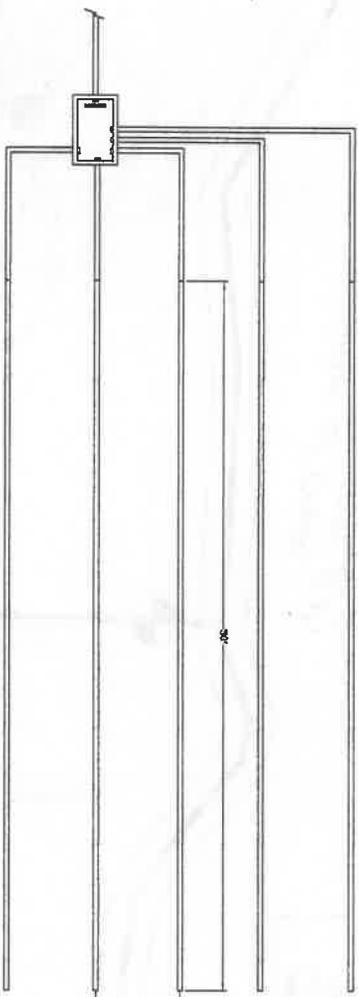


1,000 GAL. SEPTIC TANK

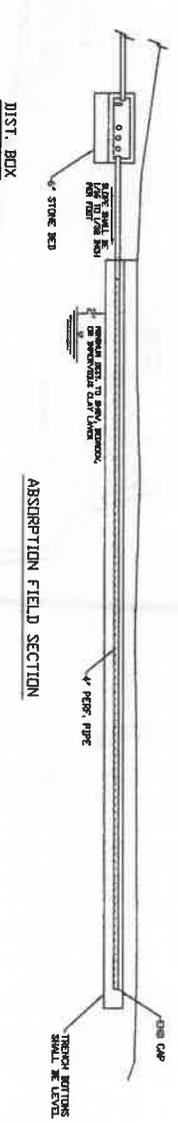
REQUIRED LENGTH OF ABSORPTION TRENCH

PERC. RATE	FLOW RATE (GALS./DAY)		
IN./INCH	280 (3 280HD)	330 (3 300HD)	440 (4 300HD)
9	123'	184'	245'
SEPTIC TANK SIZE (GAL.)	1,000	1,000	1,250
SEPTIC TANK SIZE (GAL.)	1,250	1,250	1,500

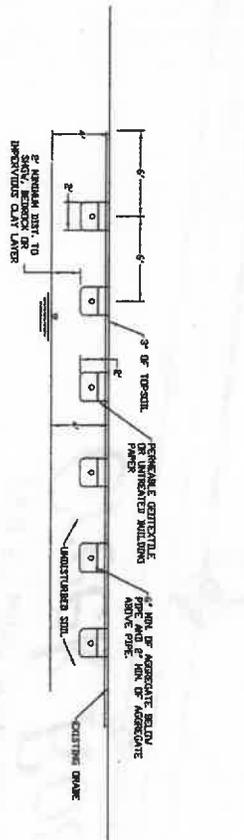
NOTE: THE WASTEWATER TREATMENT SYSTEM IS DESIGNED AND APPROVED BASED ON THE INSTALLATION OF WATER CONSERVATION FIXTURES AND A DESIGN FLOW OF 110 GALLONS PER DAY. THE SYSTEM IS NOT DESIGNED TO ACCOMMODATE EXCESS WATER FROM EXCESSIVE USE OF WATER FIXTURES. THE SYSTEM IS NOT DESIGNED TO ACCOMMODATE EXCESSIVE GROUNDWATER UNLESS THE SEPTIC TANK SYSTEM IS ENLARGED BY 250 GALLONS (SEE ABOVE). THE INSTALLATION OF NON-CONSERVING WATER FIXTURES WILL REQUIRE THE INSTALLATION OF NON-CONSERVING WATER FIXTURES TO THE APPROVAL OF THIS WASTEWATER TREATMENT SYSTEM.



ABSORPTION FIELD PLAN VIEW



ABSORPTION FIELD SECTION



ABSORPTION FIELD SECTION

FOR REFERENCE PURPOSES ONLY - 2 TO 5 LAYERS WILL BE REQUIRED

APA PROJ. # 2022-0160  
 ADIRONDACK MT. LAND LLC  
 AMY HILL RD. SUBDIVISION  
 PARCEL #127.4-1-22.060  
 CRYDON POINT, NEW YORK  
 X-SECTIONS AND SPECIFICATIONS  
 DATE: 10-7-22  
 MARK J. BUCKLEY  
 P.O. BOX 401  
 VILLSBRO, NY

SCALE: NONE 3

**SPECIFICATIONS AND NOTES:**

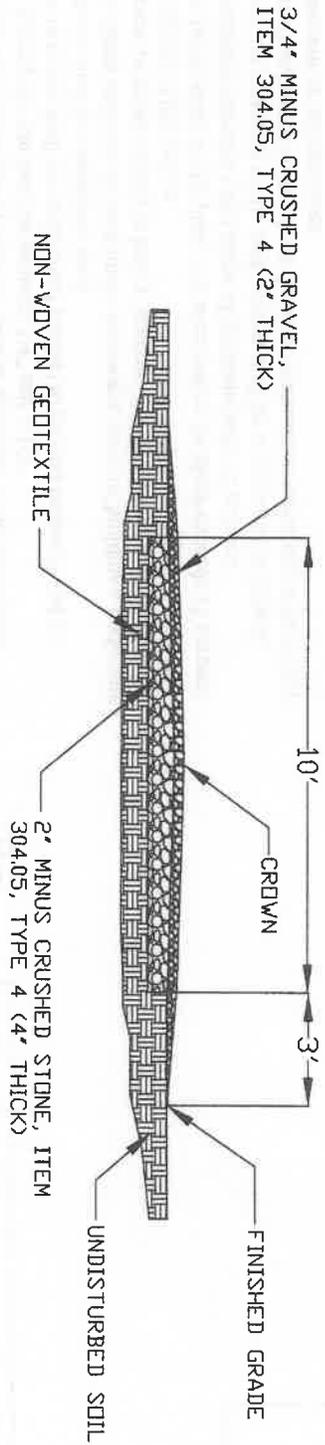
1. The contractor shall verify all measurements in the field prior to ordering materials.
2. The contractor shall verify tank and pipe sizes and locations for as-built drawings. Also, the contractor shall verify and note elevations and distances of septic tank and distribution box. The contractor shall provide the owner with a set of as-built drawings after the completion of the work.
3. Slope on all non-perforated gravity pipe shall be 1/8" per L.F. minimum unless otherwise noted.
4. All tanks and boxes shall be concrete 4000 psi. Size and specifications to conform to The New York Department of Health Appendix 75-A standards and the NYSDOH Design Standards for residential Onsite Wastewater Treatment Systems dated 2012.
5. All tanks and boxes shall be water tight and have a minimum of 12 inches of cover.
6. All solid pipe shall be schedule 40 PVC unless otherwise noted.
7. All perforated pipe shall be SDR 35 PVC or equivalent unless otherwise noted.
8. Outlet leveling devices shall be installed on each of the outlets of the distribution box to ensure equal flow to each distribution line.
9. Backfill and bedding of all tanks shall strictly follow manufacturer's written recommendations. After the tanks are installed they shall be inspected to ensure they are water tight and level. Any visible damage shall be repaired prior to backfilling.
10. All backfill and bedding shall be installed with minimum 6 inch lifts. No rocks greater than 2 inches in diameter will be used for backfill.
11. Washed stone or crushed gravel shall be used as aggregate in the absorption trenches. Aggregate size shall be between 3/4" and 1-1/2".
12. Absorption trenches shall be constructed parallel to ground contours and the trench bottoms shall be essentially level.
13. Absorption fields shall not be built under driveways, parts of buildings, under any other structure or areas subject to heavy loading. Surface waters shall be diverted from the vicinity of the system.
14. Absorption fields shall not be placed in areas where the slope exceeds 15 percent. The area presently selected has a slope of approximately 12 percent.
15. All tanks and components of the tank system shall be constructed of durable materials resistant to corrosion, frost damage, deformation (cracking or buckling) due to settlement or soil pressures.
16. Septic tank shall be a dual compartment tank and shall meet the requirements set forth in the above mentioned NYSDOH design standard.

17. Heavy equipment shall be kept out of the absorption field before, during and after construction.
18. The Contractor shall be responsible for applying topsoil and seeding in all areas damaged by the installation of the system.
19. Percolation tests shall be conducted on the absorption field fill material at the borrow pit and after installation at the construction site. Stabilization fill material with a percolation rate less than 3 min/in, or greater than 15 min/in, shall be removed and replaced with suitable fill.
20. A Zable Model A1800 Septic Tank Filter or equivalent shall be installed at the septic tank's outlet.
21. The contractor (or installer shall contact "DIG-SAFELY" at "8-1-1" ten days prior the commencement of any excavation Work.

REQUIRED SEPARATION DISTANCES FROM WASTEWATER SYSTEM COMPONENTS (FEET)					
SYSTEM COMPONENT	WELL OR SUCTION LINE	TO STREAM, LAKE OR WETLAND	DWELLING	PROPERTY LINE	DRAINAGE DITCH
HOUSE SEWER	50	25	3	10	-
SEPTIC TANK	50	50	10	10	10
EFFLUENT LINE TO DISTRIBUTION BOX	50	50	10	10	10
DISTRIBUTION BOX	100	100	20	10	20
ABSORPTION FIELD	100	100	20	10	20
SEEPAGE PIT	150	100	20	10	20
DRY WELL, GROUND AND FOOTING	50	25	20	10	10
RAISED OR MOUND SYSTEM	100	100	20	10	20

APA PROJ. # 2022-0160

ADIRONDACK MT. LAND LLC AMY HILL RD. SUBDIVISION PARCEL #127.4-1-22.060 CRWDN POINT, NEW YORK SPECIFICATIONS	DATE: 10-7-22	MARK J. BUCKLEY P.O. BOX 401 WILLSBORO, NY
SCALE: NONE		4

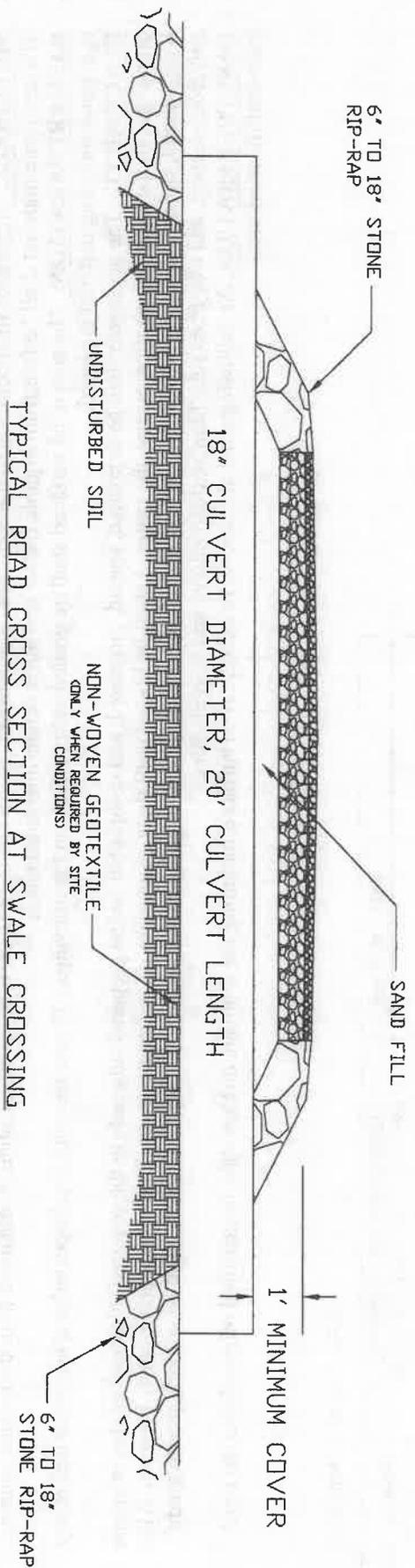


## NEW DRIVEWAY CROSS SECTION

### NOTES (FOR ROAD/DRIVEWAY):

1. Strip off soil and organics prior to grading driveway.
2. All large stones protruding above undisturbed soil prior to installation of geotextile shall be removed and the holes filled with 2" crushed stone.
3. Total length of driveway shall be 550 feet plus or minus.
4. All material removed from proposed road will be disposed of off site by the contractor unless otherwise directed.
5. Swales shall be installed on both sides of road if required. Ditches shall be no more than 12" deep.
6. Crown the surface aggregate 3" to 6" above finished grade to prevent water from ponding on the surface.
7. The top shall be compacted with the track or tire of the equipment used for construction over the entire surface and shall not leave any large depressions or irregularities that would not drain.

APA PROJ. # 2022-0160 ADIRONDACK MT. LAND LLC AMY HILL RD. SUBDIVISION PARCEL #1274-1-22.060 CRWDN POINT, NEW YORK ROAD X-SECTIONS AND SPECS	
DATE: 10-7-22	MARK J. BUCKLEY
	P.O. BOX 401
	WILLSBORO, NY
SCALE: NONE	5



TYPICAL ROAD CROSS SECTION AT SWALE CROSSING

**INSTALLATION OF CULVERTS**

1. A minimum slope of 1.0% and a maximum slope of 5.0% shall be used for all culverts. Culverts will be installed perpendicular to the road.
2. All culverts installed under roads for drainage shall be a minimum of 18 inches in diameter and 20 feet in length. Culverts will be placed level with the bottom of the roadside trench and shall have a minimum of 12 inches of fill placed on top of them. Place 6 to 18 inch rip-rap at the outlet of all culverts.
3. Culvert are shown on the site drawing.

DATE: 10-7-22	ADIRONDACK MT. LAND LLC AMY HILL RD. SUBDIVISION PARCEL #127.4-1-22.060 CRWDN POINT, NEW YORK	MARK J. BUCKLEY P.O. BOX 401 WILLSBORD, NY
SCALE: NONE	CULVERT X-SECTION AND SPECS	6

**ROAD/DRIVEWAY CONSTRUCTION SPECIFICATION INSTALLATION OF GEOTEXTILE**

1. Geotextile shall be installed in accordance with manufacturers recommendations.
2. In the placement of the geotextile, the geotextile shall be placed loosely with no wrinkles or folds, and with no void spaces between the geotextile and the ground surface. Successive sheets of geotextile shall be overlapped a minimum of 18 inches, with the upstream sheet overlapping the downstream sheet. Should the geotextile be damaged during installation or aggregate placement, a geotextile patch shall be placed over the damaged area extending beyond the damaged area a distance of 18 inches, or the specified seam overlap, whichever is greater. **GEOTEXTILE (NON-WOVEN, NEEDLE PUNCHED) MIN. CRITERIA:**
  - Grab tensile strength (lb) ASTM D4632.....202
  - Elongation at failure (%) ASTM D 4632.....>50
  - Trapezoidal tear strength (lb) ASTM D 4533.....79
  - Puncture strength (lb) ASTM D 6241.....433
  - Ultraviolet light (% retained strength) ASTM 4355.....min. 50
  - Apparent opening size (AOS) ASTM 4751.....max. 0.22 mm (us sieve size 70)
  - Peritivity ASTM D 4491.....min. 0.70
3. Any geotextile splices shall overlap a minimum of 18 inches, with upstream/upslope geotextile overlapping the abutting downslope geotextile.

**GRAVEL ROAD/DRIVEWAY SURFACING**

1. **SCOPE:** The work shall consist of furnishing, transporting, and placing mineral aggregates for road surfacing.
2. **MATERIALS:** Aggregate shall conform to the applicable requirements of ASTM D 1241 or, if so specified, shall be obtained from designated sources.
3. **BASE PREPARATION:** The area to be surfaced shall be graded as specified on the drawings. The surface shall be inspected and approved before any aggregate surfacing material is placed.
4. **PLACEMENT:** The aggregate shall be deposited, spread, processed, and compacted on the prepared subgrade to the required thickness as shown on the drawings. In the event segregation occurs, the material shall be bladed until the various sizes of aggregate are uniformly and satisfactorily blended. After being spread, the material shall be watered, mixed, shaped to the required section, and compacted. The completed course shall be smooth, true to grade and cross-section, and free from ruts, humps, depressions, and irregularities.
5. **BASE PREPARATION,** the following shall also apply: Roadbeds to be surfaced including the drainage ditches shall be scarified minimally to the top 2 inches of the road-base.

APA PROJECT NO: 2022-0160

DATE: 10-7-22	ADIRONDACK MT. LAND LLC	AMY HILL RD. SUBDIVISION PARCEL #1274-1-22.060 CRW/DN POINT, NEW YORK	ROAD/DRIVEWAY SPECIFICATIONS	MARK J. BUCKLEY P.O. BOX 401 WILLSBORO, NY
	SCALE: NONE			7