


THIS IS A TWO-SIDED DOCUMENT

 <p>Adirondack Park Agency</p> <p>P.O. Box 99, 1133 NYS Route 86 Ray Brook, New York 12977 Tel: (518) 891-4050 www.apa.ny.gov</p>	<p>APA Permit 2025-0236</p>
<p>In the Matter of the Application of</p> <p>ALAN BAUM & SHANNON WEBER Permittees</p> <p>for a permit pursuant to § 809 of the Adirondack Park Agency Act</p>	<p>Date Issued: November 18, 2025</p> <p>To the County Clerk: Please index this permit in the grantor index under the following name(s):</p> <ol style="list-style-type: none">1. Alan Baum2. Shannon Weber

SUMMARY AND AUTHORIZATION

This permit authorizes construction of a single family dwelling in an area classified Low Intensity Use on the Adirondack Park Land Use and Development Plan Map in the Town of Lake Luzerne, Warren County.

This authorization shall expire unless recorded in the Warren County Clerk's Office within 60 days of issuance of a signed and notarized permit. The signed and notarized permit shall be recorded in the names of all persons listed above and in the names of all owners of record of any portion of the project site on the recordation date. The Agency will consider the project in existence when the permit has been recorded.

The project shall be undertaken in compliance with all conditions stated herein. Failure to comply with this permit is a violation and may subject the permittee, successors, and assigns to civil penalties and other legal proceedings.

This permit does not convey any right to trespass upon the lands or interfere with the riparian rights of others in order to undertake the authorized project, nor does it authorize the impairment of any easement, right, title or interest in real or personal property.

Nothing contained in this permit shall be construed to satisfy any legal obligations of the permittee to comply with all applicable laws and regulations or to obtain any governmental approval or permit from any entity other than the Agency, whether federal, State, regional, or local.

PROJECT SITE

The project site is a 7.03±-acre parcel of land located on Potash Road and Old Stage Road/County Route 60 in the Town of Lake Luzerne, Warren County, in an area classified Low Intensity Use on the Adirondack Park Land Use and Development Plan

Map. The site is identified as Tax Map Section 285, Block 2, Parcel 26.12, and is described in a deed from Joseph Grima and Annmarie Grima to Alan Baum and Shannon Weber, dated March 5, 2025, and recorded March 5, 2025, in the Warren County Clerk's Office under Instrument Number 2025-1177.

PROJECT DESCRIPTION

The project as conditionally approved herein involves the construction of a three-bedroom single family dwelling with an attached garage and on-site wastewater treatment system.

The project site constituted a portion of a larger property on the May 22, 1973 enactment date of the Adirondack Park Land Use and Development Plan, and was created by subdivision from this larger property in 2001. As this subdivision resulted in the creation of 10 or more lots from the original property within a Low Intensity Use land use area, it appears that an Agency permit was required for its undertaking. Agency records indicate that no permit was obtained. By issuance of this permit, the project site shall be recognized as lawful for Agency purposes.

The project is shown on the following maps and plans (Project Plans):

- A three-page set of plan sheets titled "Alan Baum & Shannon Weber 284 Potash Road Lake Luzerne, NY 12846", prepared by SRA Engineers, and dated September 24, 2025 (Site and OSWTS Plan); and
- Two pages of plans depicting and describing re-vegetation and tree planting, prepared by Shannon Weber, and received by Agency on October 15, 2025 (Vegetation Plan).

A reduced-scale copy of the Project Plans for the project, is attached as a part of this permit for reference.

AGENCY JURISDICTION

Pursuant to Section 809(2)(a) of the Adirondack Park Agency Act, a permit is required from the Adirondack Park Agency prior to any subdivision that results in the creation of 10 or more lots, parcels, or sites since May 22, 1973 in a Low Intensity Use land use area in the Adirondack Park.

CONDITIONS

THE PROJECT IS APPROVED SUBJECT TO THE FOLLOWING CONDITIONS:

1. The project shall not be undertaken until this permit has been recorded in the Warren County Clerk's Office.
2. This permit is binding on the permittee, all present and future owners or lessees of the project site, and all persons undertaking all or a portion of the project. Copies of this permit and Project Plans shall be furnished by the permittee to all

subsequent owners or lessees of the project site prior to sale or lease, and by the permittee and/or any subsequent owner or lessee to all persons undertaking any development activities authorized herein.

3. In addition to complying with all terms and conditions of this permit, all future activities on the project site shall be undertaken in compliance with the requirements of New York State's Adirondack Park Agency Act and the Adirondack Park Agency's implementing regulations [9 NYCRR §§ 570-588].
4. All deeds conveying all or a portion of the lands subject to this permit shall contain references to this permit as follows: "The lands conveyed are subject to Adirondack Park Agency Permit 2025-0236, issued November 18, 2025, the conditions of which are binding upon the heirs, successors and assigns of the grantors and all subsequent grantees."
5. Subject to the conditions stated herein, this permit authorizes the construction of one single family dwelling with an attached garage on the project site in the location and footprint, shown and as described on the Site and OSWTS Plan. The single family dwelling shall be no more than 40 feet in height, as measured from the highest point on the structure, to the lower of either existing or finished grade. Any change to the location or dimensions of any authorized structure shall require prior written Agency authorization.
6. The construction of any additional dwelling or other principal building on the project site shall require a new or amended permit. The construction of any accessory structure outside the limits of clearing shown on the Vegetation Plan shall require prior written Agency authorization.
7. Construction of any guest cottage on the project site shall require prior written Agency authorization.
8. Any on-site wastewater treatment system(s) on the project site installed within five years of the date of issuance of this permit shall be constructed in conformance with the location and design shown on the Site and OSWTS Plan. Construction of the system shall be supervised by a New York State design professional (licensed engineer or registered architect). Within 30 days of complete system installation and prior to its utilization, the design professional shall provide written certification to the Agency that the system was built in compliance with the approved plans.

No on-site wastewater treatment system shall be installed on the project site more than five years after the date of issuance of this permit except pursuant to written authorization from the Agency.
9. When brought from off-site, all equipment, including but not limited to trucks, excavators, tractors, etc., and hand excavation tools such as shovels, rakes, and picks, to be used on the project site shall be clean and free of soil, mud, or other similar material. If washed on the project site, equipment shall be washed in one location to prevent the distribution of propagules among different wash sites.

10. Any new free-standing or building-mounted outdoor lights shall employ full cut-off fixtures that are fully shielded to direct light downward and not into the sky or toward Potash Road, Old Stage Road/County Route 60, or adjoining property.
11. All exterior building materials, including roof, siding and trim, of the dwelling shall be a dark shade of green, grey, or brown.
12. Outside of the limits of clearing shown on the Vegetation Plan, no trees greater than 6 inches in diameter at breast height may be cut or otherwise removed on the project site without prior written Agency authorization, except for the removal of dead or diseased vegetation, rotten or damaged trees, or any other vegetation that presents a safety or health hazard.
13. Within the re-generation area shown on the Vegetation Plan, no trees, shrubs or other woody-stemmed may be cut or otherwise removed on the project site without prior written Agency authorization, except for the removal of dead or diseased vegetation, rotten or damaged trees, or any other vegetation that presents a safety or health hazard.
14. All trees depicted on the Vegetation Plan shall be planted no later than the first spring or fall planting season after construction of the single family dwelling on the project site. Any plantings that do not survive shall be replaced annually for a period of 5 years until all are established in a healthy growing condition.
15. There shall be no more than two principal building(s) located on the project site at any time. The single family dwelling authorized herein constitutes a principal building. The Agency makes no assurances that the maximum development mathematically allowed can be approved.


CONCLUSIONS OF LAW

The Agency has considered all statutory and regulatory criteria for project approval set forth in the Adirondack Park Agency Act, and 9 NYCRR Part 574. The Agency hereby finds that the single family dwelling authorized as conditioned herein:

- a. will be consistent with the land use and development plan;
- b. will be compatible with the character description and purposes, policies, and objectives of the Low Intensity Use land use area;
- c. will be consistent with the overall intensity guidelines for the Low Intensity Use land use area;
- d. will comply with the shoreline restrictions of § 806 of the Adirondack Park Agency Act; and
- e. will not have an undue adverse impact upon the natural, scenic, aesthetic, ecological, wildlife, historic, recreational or open space resources of the Park or upon the ability of the public to provide supporting facilities and services made necessary by the project.

PERMIT issued this 18th day
of November, 2025.

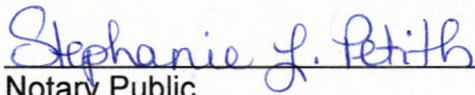
ADIRONDACK PARK AGENCY

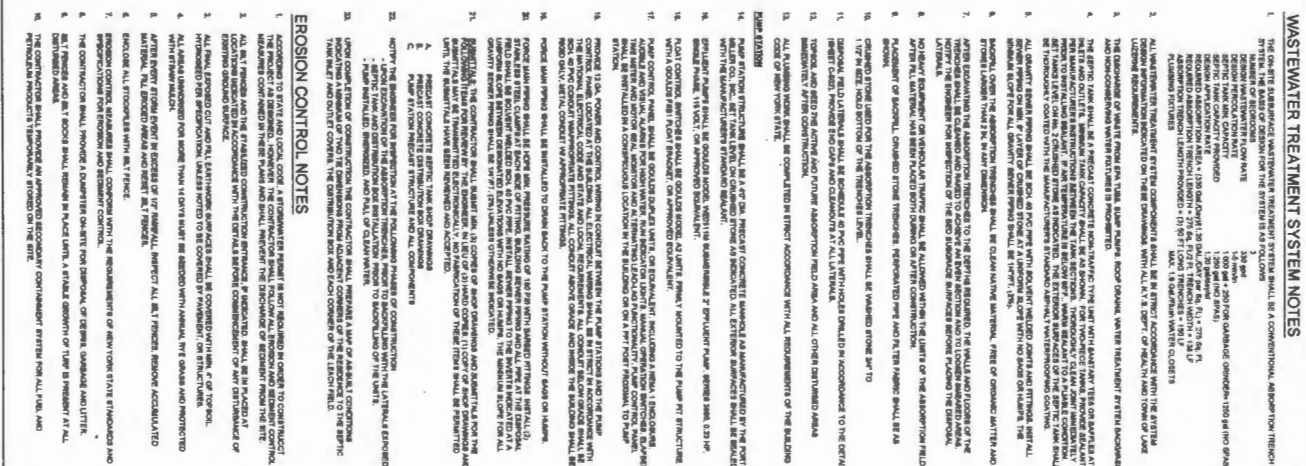
BY: 
John M. Burth
Deputy Director, Regulatory Programs

STATE OF NEW YORK
COUNTY OF ESSEX

On the 18th day of November in the year 2025, before me, the undersigned, a Notary Public in and for said State, personally appeared John M. Burth, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that they executed the same in their capacity, and that by their signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

STEPHANIE PETITH
Notary Public, State of New York
Reg. No. 01PE6279890
Qualified in Essex County
Commission Expires April 15, 2029


Notary Public



	465 Dixon Road, Suite 7, Bldg. K Clamessary, New York 12004 Tel: 518/357-1300, Fax: 518/357-1301	
	DATE: 05/04/93 DRAWING: 1000-01 SCALE: 1"=40'-0" SHEET NO.: 1 OF 1	PROJECT NO.: 93-01 PROJECT NAME: 8 INCH WAY, APT G CLIENT NAME: ALAN J. SHANNON WEEBE PROJECT LOCATION: QUEENSBURY, NY 12004
DRAWING TITLE: ALAN J. SHANNON WEEBE 284 POTASH ROAD LAKE LUZERNE, NY 12046 SITE PLAN NOTES		
DRAWING NO.: C-101	REV. 1: 07-93 REV. 2:	

REV.	DATE	DESCRIPTION
0	9/20/68	ISSUED FOR PERMITS

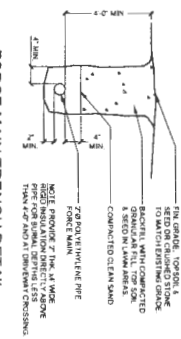
QUALIFYING ALTERNATE OR ADDITION TO
THIS DOCUMENT IS AVAILABLE FOR SECTION
EDUCATION LAW, § 3 of THE NEW YORK STATE

THE UNIVERSITY OF CHICAGO PRESS

A topographic map of the Mt. Rainier area. The map shows the mountain's profile with contour lines indicating elevation. Key features include the town of Rainier, the Rainier National Forest, and the surrounding peaks. The map is oriented with North at the top.

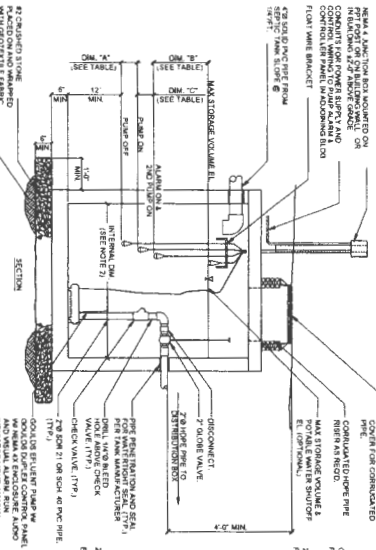
FORCE MAIN TRENCH DETAIL

N.T.S.



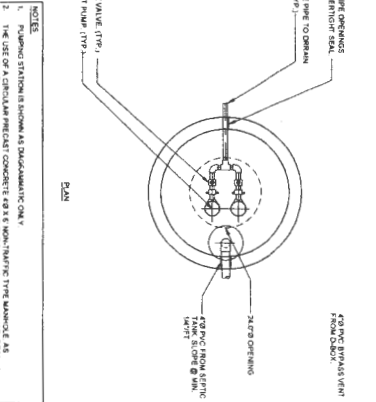
PUMP STATION DETAILS

N.T.S.



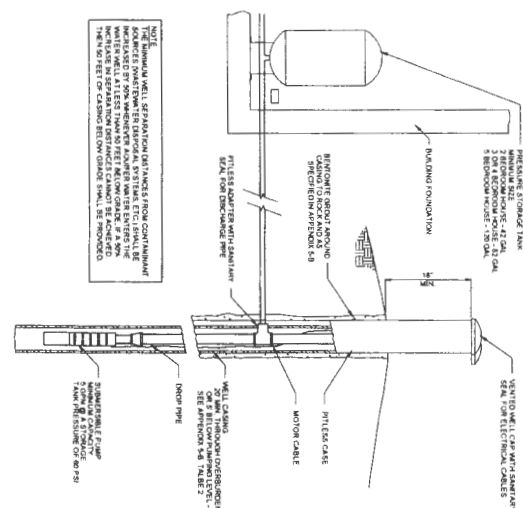
EFFLUENT PUMP STATION DETAIL

N.T.S.



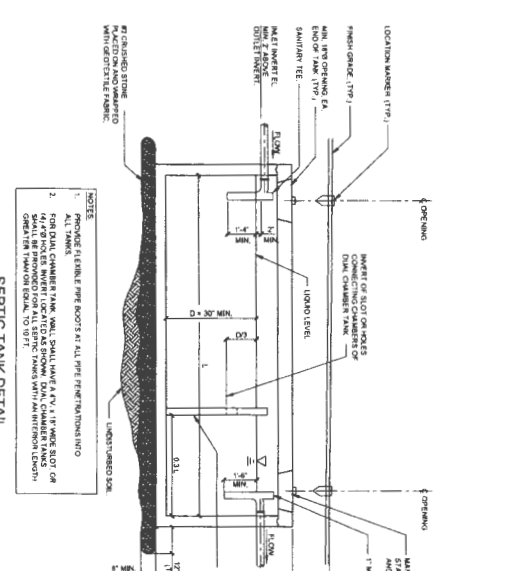
TYPICAL WELL DETAIL

N.T.S.



SEPTIC TANK DETAIL

N.T.S.



SPRA ENGINEERS

603 Dixon Road, Suite 1200
Lake Luzerne, NY 12846
(518) 791-0417, FAX: (518) 791-0513

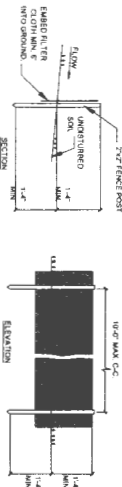
SCALE: AS SHOWN
DRAWN BY: [blank]
CHECKED BY: [blank]
PROJECT NO: 2430
DATE: 10/1/97

UNDESIGNED ALTERATION OF ADDITION TO
EXISTING SEWAGE TREATMENT PLANT
LOCATION: LAKE LUZERNE, NY

DESIGNED BY: [blank]
CHECKED BY: [blank]
PROJECT NO: 2430
DATE: 10/1/97

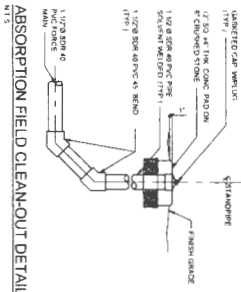
ALAN BAUM & SHANNON WEBER
284 POTASH ROAD
LAKE LUZERNE, NY 12846

DETAIL PLAN
SHEET 2 OF 2
C-501 REV. 0

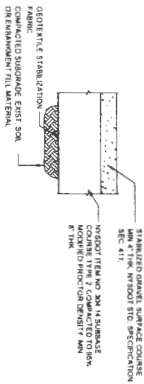


SILT FENCE DETAIL

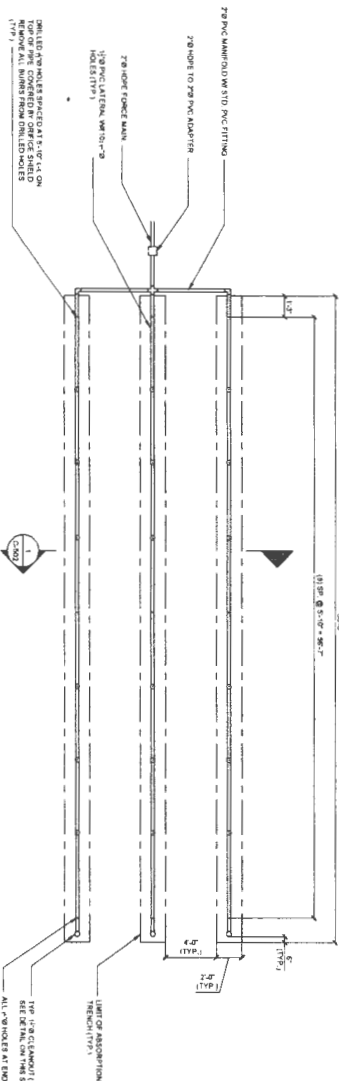
- NOTES:
1. FILL TO TOP OF THE FILLING MATERIAL TO POST WITH 1' x 4' SILT FENCE.
 2. WHEN TWO SECTIONS OF 1' x 4' SILT FENCE ARE JOINED, THE JOINT SHALL BE COVERED BY A 1' x 4' SILT FENCE.
 3. REMOVE WHEN SILT FENCE DEVELOPS IN THE SILT FENCE.



ABSORPTION FIELD CLEANOUT DETAIL

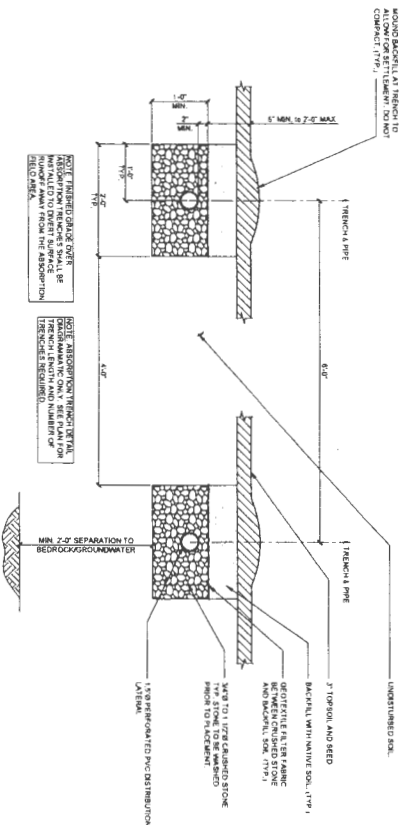


TYPICAL GRAVEL PAVEMENT DETAIL



ABSORPTION TRENCH PLAN

- NOTES:
1. ALL FITTINGS SHALL BE 3/4" x 4" PVC PRESSURE RATED.



TYPICAL WASTEWATER ABSORPTION TRENCH DETAIL

REV	DATE	DESCRIPTION
0	05/05/2010	ISSUED FOR PERMITS

SRA
ENGINEERS

500 Hudson Street, Suite 200
Queensbury, New York 12244
(518) 781-0417 FAX: (518) 781-0513

SCALE	AS SHOWN	DATE	05/05/2010
BY	ALAN BAUM & SHANNON WEBER	CHECKED	ALAN BAUM & SHANNON WEBER
DATE	05/05/2010	PROJECT	QUEENSBURY, NY 12244

ALAN BAUM & SHANNON WEBER
200 HUDSON STREET, SUITE 200
QUEENSBURY, NY 12244

DRAWING NO. C-502

REV. 1 OF 1

DETAIL PLAN



Untouched
Vegetation

RECEIVED
Adirondack
Park Agency
Date: October 15, 2025

FINAL
Adirondack
Park Agency
P2025-0236

PROPOSED 3 BEDROOM
DWELLING WITH
ATTACHED GARAGE
BUILDING ENVELOPE

100' WELL SETBACK
50' WELL SETBACK

EXIST. WOOD FENCE
(TYP.)

OLD STAGE ROAD

15' FRONT
REAR SETBACK

NOT TO EXCEED WITH 200' OF THE
PROPOSED SETBACK DISPERSED FIELD LOCATION

EXIST. EDGE OF
WOODS (TYP.)

TAX MAP NO. 286-2-58.52
MICHAEL & KORINE DALABA
3.21 ACRES

TAX MAP NO. 286-2-26.12
ALAN BAUM & SHANNON WEBER
7.03 ACRES

TAX MAP NO. 286-2-26.12
ALAN BAUM & SHANNON WEBER
7.03 ACRES

20' SIDE SETBACK

PROP. SILT FENCE SEE DETAIL,
SHEET C-501.

TAX MAP NO. 286-2-58.51
JAMES R. COHEN
3.22 ACRES

TAX MAP NO. 286-1-61
NEW YORK STATE
899.03 ACRES

Untouched
vegetation

Cleared area to be
allowed to revegetate
naturally

CONVENTIONAL ABSORPTION
TRENCH SYSTEM (3) 2'-0" WD. X
50'-0" LG WITH PRESSURE
DISTRIBUTION. WASTEWATER
ABSORPTION TRENCHES W/ 1.5" PVC
PIPE CENTERED IN EACH
TRENCH WITH HOLES DRILLED
AS INDICATE IN DETAIL. PROVIDE
CLEANOUTS @ EACH PIPE. SEE
DETAIL, SHEET C-502.

PROP. 2" HOPE FORCE MAIN,
NO JOINTS - CONTINUOUS
SLOPE, FROM PUMP STATION
TO ABSORPTION FIELD.

EXIST. GRAVEL DRIVE.

PROP. 400 PRECAST CONC.
PUMP STATION WITH
DUPLEX PUMP SYSTEM.
SEE DETAIL, SHEET C-501.

PROPOSED 1,250 GAL.
PRECAST CONC.
SEPTIC TANK. SEE
DETAIL, SHEET C-501

EXIST. TELE. PEDESTAL

PROPOSED 4" PVC
GRANITITE SINKER
SLOTTED @ 1/4" INT.
FROM HOUSE TO
SEPTIC TANK
EXIST. WIRE GATE
EXIST. WOOD FENCE
(TYP.)

PROPOSED GRAVEL
PAVEMENT DRIVEWAY.

CAPPED IRON ROD
FOUND (TYP.)

New trees to be
planted (14)

New trees to
be planted (3)

TAX MAP NO. 286-2-26.2
RELSEY THURS
5.00 ACRES

PROPOSED DRILLED
WELL LOCATION

SITE PLAN



Plant Schedule

Type of Plant	Common Name	Scientific Name	Quantity to be Planted
Native Tree	Eastern Red Cedar	Juniperus Virginiana	17