


THIS IS A TWO-SIDED DOCUMENT

 <p><b>Adirondack Park Agency</b></p> <p>P.O. Box 99, 1133 NYS Route 86 Ray Brook, New York 12977 Tel: (518) 891-4050 www.apa.ny.gov</p>	<p>APA Permit <b>2025-0253</b></p>
<p>In the Matter of the Application of</p> <p><b>TOWN OF TICONDEROGA</b> <b>Permittee</b></p> <p>for a permit pursuant to § 809 of the Adirondack Park Agency Act</p>	<p>Date Issued: <b>November 12, 2025</b></p> <p>To the County Clerk: Please index this permit in the grantor index under the following name(s): <b>1. Town of Ticonderoga</b></p>

**SUMMARY AND AUTHORIZATION**

This permit authorizes expansion of an airport in an area classified Resource Management on the Adirondack Park Land Use and Development Plan Map in the Town of Ticonderoga, Essex County.

This authorization shall expire unless recorded in the Essex County Clerk's Office within 60 days of issuance of a signed and notarized permit. The signed and notarized permit shall be recorded in the names of all persons listed above and in the names of all owners of record of any portion of the project site on the recordation date.

The project shall not be undertaken or continued unless the project authorized herein is in existence within five years of the date the permit is recorded in the Essex County Clerk's Office. The Agency will consider the project in existence when Phase 1 has been undertaken.

The project shall be undertaken in compliance with all conditions stated herein. Failure to comply with this permit is a violation and may subject the permittee, successors, and assigns to civil penalties and other legal proceedings.

This permit does not convey any right to trespass upon the lands or interfere with the riparian rights of others in order to undertake the authorized project, nor does it authorize the impairment of any easement, right, title or interest in real or personal property.

Nothing contained in this permit shall be construed to satisfy any legal obligations of the permittee to comply with all applicable laws and regulations or to obtain any governmental approval or permit from any entity other than the Agency, whether federal, State, regional, or local.

### **PROJECT SITE**

The project site is located on Airport Road in the Town of Ticonderoga, Essex County, in an area classified Resource Management on the Adirondack Park Land Use and Development Plan Map. The site is identified as Tax Map Section 139.4, Block 2, Parcels 2 & 7, and is described in a deed from Bernardus A. Leerkes and Maria Leerkes to the Town of Ticonderoga dated January 15, 1970 which was recorded January 28, 1970 in the Essex County Clerk's Office in Book 484 at Page 500.

The project site also contains a portion of a wetland that is sub-acre in size and isolated from any permanent water bodies. Additional wetlands not described herein or depicted on the Project Plans may be located on or adjacent to the project site.

The project site is improved by the existing Ticonderoga Municipal Airport, including and existing hangar, apron, and asphalt runway. The existing airport is subject to Agency Permits 89-184, 89-184A, 2008-0192, 2009-0151 and 2012-0091.

### **PROJECT DESCRIPTION**

The project as conditionally approved herein involves expansion and improvements to the existing Town of Ticonderoga municipal airport. The project includes apron expansion, terminal improvements and the construction of a hangar to be completed in phases as depicted on the "Proposed Terminal Area Plan," prepared by Passero Associates, dated December 2021.

The project is further described on the following plans:

- 12 sheets of contract drawings titled "Apron Expansion (Phase 1), Ticonderoga Municipal Airport (4B6)," prepared by Passero Engineering and Architecture, dated June 2025 (Project Plans); and
- A Stormwater Pollution Prevention Plan titled "Apron Expansion, Ticonderoga Municipal Airport (4B6)," prepared by Passero Engineering and Architecture, dated October 6, 2025 (SWPPP Report).

A reduced-scale copy of the Site Plan for the project, shown on Sheet C-101 of the Project Plans, is attached as a part of this permit for reference.

### **AGENCY JURISDICTION**

Pursuant to Section 809(2)(a) of the Adirondack Park Agency Act, a permit is required from the Adirondack Park Agency for a use that is not included on either the list of primary or secondary uses for Resource Management lands in the Adirondack Park.

Condition 11 of Agency Permit 2012-0091 required prior written Agency authorization for any new subdivision, land use or development on the project site.

**CONDITIONS**

**THE PROJECT IS APPROVED SUBJECT TO THE FOLLOWING CONDITIONS:**

1. The project shall not be undertaken until this permit has been recorded in the Essex County Clerk's Office.
2. This permit is binding on the permittee, all present and future owners or lessees of the project site, and all persons undertaking all or a portion of the project, for as long as the airport remains on the site. Copies of this permit, Project Plans and SWPPP Report shall be furnished by the permittee to all subsequent owners or lessees of the project site prior to sale or lease, and by the permittee and/or any subsequent owner or lessee to all persons undertaking any development activities authorized herein.
3. In addition to complying with all terms and conditions of this permit, all future activities on the project site shall be undertaken in compliance with the requirements of New York State's Adirondack Park Agency Act, Freshwater Wetlands Act, and the Adirondack Park Agency's implementing regulations [9 NYCRR §§ 570-588].
4. This permit amends and supersedes Permits 89-184, 89-184A, 2008-0192, 2009-0151 and 2012-0091 in relation to the project site. The terms and conditions of permits 89-184, 89-184A, 2008-0192, 2009-0151 and 2012-0091 shall no longer apply to the project site.
5. All deeds conveying all or a portion of the lands subject to this permit shall contain references to this permit as follows: "The lands conveyed are subject to Adirondack Park Agency Permit 2025-0253, issued November 12, 2025, the conditions of which are binding upon the heirs, successors and assigns of the grantors and all subsequent grantees."
6. This permit authorizes Phase 1 of the project in the location shown and as depicted on the Project Plans. Any change to the location, dimensions, or other aspect of Phase 1, or the undertaking of additional phases shall require prior written Agency authorization.
7. Pursuant to Section 809(2)(a) of the Adirondack Park Agency Act, the construction of any additional principal building on the project site shall require a new or amended permit. The undertaking of any activity involving wetlands also requires a new or amended permit.
8. Installation of any on-site wastewater treatment system on the project site shall require prior written Agency authorization.
9. The project shall be undertaken in compliance with the SWPPP Report and the Grading & Erosion Control Plan shown on sheet C-201 of the Project Plans.

10. When brought from off-site, all equipment, including but not limited to trucks, excavators, tractors, etc., and hand excavation tools such as shovels, rakes, and picks, to be used on the project site shall be clean and free of soil, mud, or other similar material. If washed on the project site, equipment shall be washed in one location to prevent the distribution of propagules among different wash sites. All construction equipment and vehicles operating in areas that may contain existing invasive species shall be thoroughly cleaned prior to moving to other areas.
11. Any new free-standing or building-mounted outdoor lights associated with the airport on the project site not required by the Federal Aviation Administration shall employ full cut-off fixtures that are fully shielded to direct light downward and not into the sky or toward adjoining property.
12. All signs associated with the airport on the project site shall comply with the Agency's "Standards for Signs Associated with Projects" [9 NYCRR Part 570, Appendix Q-3].
13. Between April 1 and October 31, no trees shall be removed or disturbed on the project site without prior written Agency authorization.
14. There shall be no more than two principal building(s) located on the project site at any time. The existing terminal building constitutes a principal building. The Agency makes no assurances that the maximum development mathematically allowed can be approved.


### **CONCLUSIONS OF LAW**

The Agency has considered all statutory and regulatory criteria for project approval set forth in the Adirondack Park Agency Act and 9 NYCRR Part 574. The Agency hereby finds that the project authorized as conditioned herein:

- a. will be consistent with the land use and development plan;
- b. will be compatible with the character description and purposes, policies, and objectives of the Resource Management land use area;
- c. will be consistent with the overall intensity guidelines for the Resource Management land use area;
- d. will comply with the shoreline restrictions of § 806 of the Adirondack Park Agency Act; and
- e. will not have an undue adverse impact upon the natural, scenic, aesthetic, ecological, wildlife, historic, recreational or open space resources of the Park or upon the ability of the public to provide supporting facilities and services made necessary by the project.

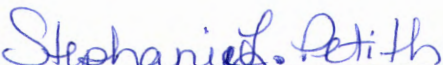
PERMIT issued this 12<sup>th</sup> day  
of November, 2025.

ADIRONDACK PARK AGENCY

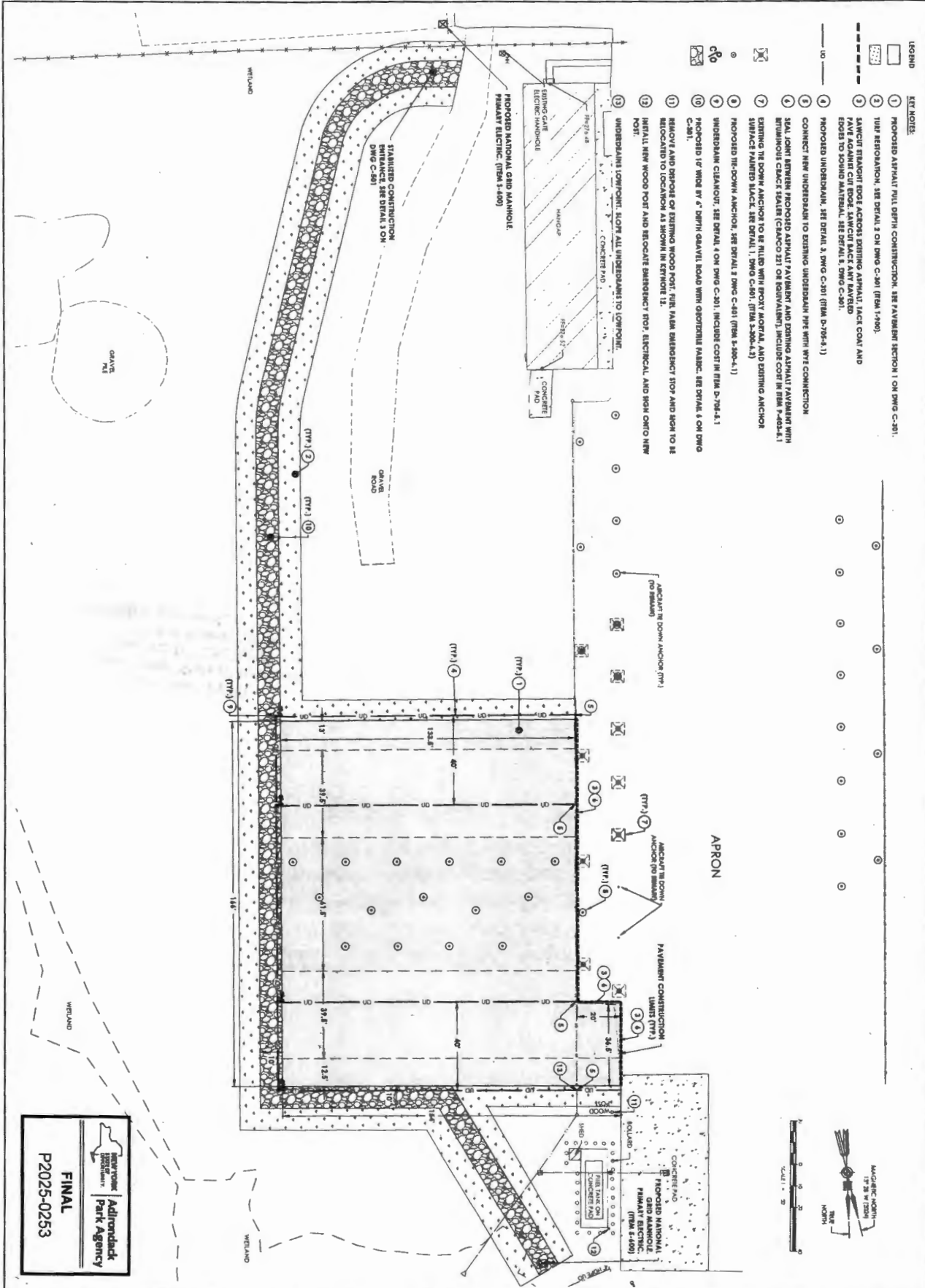
BY:   
John M. Burth  
Deputy Director, Regulatory Programs

STATE OF NEW YORK  
COUNTY OF ESSEX

On the 12<sup>th</sup> day of November in the year 2025, before me, the undersigned, a Notary Public in and for said State, personally appeared John M. Burth, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that they executed the same in their capacity, and that by their signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

  
Notary Public

STEPHANIE PETITH  
Notary Public, State of New York  
Reg. No. 01PE6279890  
Qualified in Essex County  
Commission Expires April 15, 2029



<p><b>PASSERO</b> engineering architecture</p> <p>1400 West 10th Street Ticonderoga, NY 12863 Phone: (518) 291-1234 Fax: (518) 291-1235 Email: info@passero.com</p>	<p>Project: Apron Expansion (Phase 1)</p>	<p>Client: Ticonderoga Municipal Airport 133 West 10th Street Ticonderoga, NY 12863</p>	<p>Revision: 5</p> <p>Project No: 2018/201.0008</p> <p>City: Ticonderoga, NY</p> <p>State: NY</p> <p>County: Warren</p> <p>Site Plan</p> <p>June 2025</p>
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