

THIS IS A TWO-SIDED DOCUMENT
2/26/21 - STAFF DRAFT – NOT APPROVED BY AGENCY

 <p>NEW YORK STATE OF OPPORTUNITY.</p> <p>Adirondack Park Agency</p> <p>P.O. Box 99, 1133 NYS Route 86 Ray Brook, New York 12977 Tel: (518) 891-4050 www.apa.ny.gov</p>	<p style="text-align: center;">APA Permit 2018-0123</p>
<p>In the Matter of the Application of</p> <p>NEW YORK LAND AND LAKES DEVELOPMENT, LLC and WOODWARD LAKE PROPERTIES, LLC Permittees</p> <p>for a permit pursuant to § 809 of the Adirondack Park Agency Act and 9 NYCRR Part 578</p>	<p>Date Issued: XXXX</p> <p>To the County Clerk: Please index this permit in the grantor index under the following names:</p> <ol style="list-style-type: none">1. New York Land and Lakes Development, LLC2. Woodward Lake Properties, LLC

SUMMARY AND AUTHORIZATION

This permit authorizes a 34-lot subdivision in an area classified Rural Use and Resource Management on the Adirondack Park Land Use and Development Plan Map in the Towns of Northampton and Mayfield, Fulton County.

This authorization shall expire unless recorded in the Fulton County Clerk's Office within 60 days of issuance of a signed and notarized permit. The signed and notarized permit shall be recorded in the names of all persons listed above and in the names of all owners of record of any portion of the project site on the recordation date.

The project shall not be undertaken or continued unless the project authorized herein is in existence within five years of the date the permit is recorded in the County Clerk's Office. The Agency will consider the project in existence when an authorized lot has been conveyed to an outside party.

The project shall be undertaken in compliance with all conditions stated herein. Failure to comply with this permit is a violation and may subject the permittee, successors, and assigns to civil penalties and other legal proceedings.

This permit does not convey any right to trespass upon the lands or interfere with the riparian rights of others in order to undertake the authorized project, nor does it authorize the impairment of any easement, right, title or interest in real or personal property.

Nothing contained in this permit shall be construed to satisfy any legal obligations of the permittee to comply with all applicable laws and regulations or to obtain any governmental approval or permit from any entity other than the Agency, whether federal, State, regional or local.

PROJECT SITE

The project site is a 1,169±-acre parcel of land located on Collins-Gifford Valley Road and High Rock Road in the Towns of Northampton and Mayfield, Fulton County, in an area classified Rural Use and Resource Management on the Adirondack Park Land Use and Development Plan Map. The site is identified as Tax Map parcels 17.-1-23, 31.-1-2, and 31.2-1-25 in Northampton and 31.-2-1 in Mayfield. The site is described in the following two deeds: a deed from Woodward Lake Adirondack Retreat, LLC to Woodward Lake Properties, LLC, dated May 11, 2018, and recorded May 25, 2018 in the Fulton County Clerk's Office as Instrument Number 2018-50246; and a deed from Alan Jaffe to Woodward Lake Properties, LLC, dated May 11, 2018, and recorded May 30, 2018 in the Fulton County Clerk's Office as Instrument Number 2018-50281.

The project site includes the entirety of Woodward Lake, a “run of river” impoundment formed by a 19-foot-high, 620-foot-long earthen and concrete dam constructed around 1928 and having a Class B Hazard rating by NYS Department of Environmental Conservation (DEC) Dam Safety. The waterbody has a surface area of approximately 100 acres and has a storage capacity of approximately 460 acre-feet. While most of the waterbody is no more than 11 feet deep, a deep water hole that is approximately 16 feet deep is within the immediately vicinity of the dam.

The project site also contains wetlands, as described in a report titled “Delineation of APA Regulated Aquatic Resources, Woodward Lake Properties, Towns of Northampton and Mayfield, Fulton County, New York,” prepared by North Country Ecological Services, Inc., and dated October 18, 2020 (Aquatic Resources Report). The wetlands are shown on nine maps (Cover Page and W-1 through W-8) titled “Wetland Delineation, Woodward Lake Properties, LLC, Woodward Lake Subdivision, Town of Northampton, Fulton County, NY,” prepared by Steven E. Smith Civil and Architectural Engineering, and last dated September 16, 2020 (Wetland Delineation Maps). The Wetland Delineation Maps show 170.50± acres of wetland within the area of investigation¹, 159.56± acres of which are jurisdictional for the Agency. The site may contain additional wetlands not described in the Aquatic Resources Report or depicted on the Wetland Delineation Maps, especially greater than 800 feet west of Collins-Gifford Valley Road where detailed wetland mapping did not occur other than near development authorized herein. The wetlands on the site have value ratings of “1” and “2”, pursuant to 9 NYCRR Part 578. The wetland complex in and surrounding Woodward Lake has a value rating of “1”.

The project site is improved by an existing three-bedroom single-family dwelling with attached garage, constructed in 1997, and development associated with the dwelling, including a gravel driveway, on-site wastewater treatment system, drilled well, underground utilities, tennis court, and a dock on Woodward Lake. The project site is also improved by a network of wood roads (i.e., logging and skidder trails). A wood road connecting Collins-Gifford Valley Road to an old gravel pit is drivable. Another road, Robert Sweet Road, is an abandoned town road that crosses the project site and provides access to private land adjoining the project site.

¹ The “Review Area” defined in the Aquatic Resources Report is the area immediately surrounding Woodward Lake and the area within 800 feet of the west side of Collins-Gifford Valley Road, encompassing roughly 60% of the project site.

PROJECT DESCRIPTION

The project as conditionally approved herein involves subdivision of 1,169± acres into 34 lots, yielding 32 building lots, one lot improved by the existing single-family dwelling, and one common lot. Thirty new single-family dwellings will be in the Rural Use land use area and two new single-family dwellings will be in the Resource Management land use area. Eighteen lots, plus the common lot, will have shoreline on Woodward Lake. The project sponsor proposes to extinguish all remaining principal building rights, 12 in Resource Management and 25 in Rural Use, for a total of 37.

Access will be provided from Collins-Gifford Valley Road and a new 2,000-foot-long private subdivision road. Within 20-foot-wide driveway easements, driveways will be shared by the owners of Lots 2 and 3, Lots 5-7, Lots 23 and 24, Lots 25 and 26, Lots 27 and 28, and Lots 29 and 30. The shared portion of those driveways will be constructed by the permittee prior to sale of those lots. The individual portion of those driveways, between the shared portion and the building envelope, will be constructed by the individual lot owners.

Individual lot owners will install and maintain the water supply, wastewater treatment, and stormwater management on each residential lot as authorized in the final plans. The permittee proposes to limit each residential lot to one principal building and one accessory structure with no further subdivisions, and require any commercial timber harvesting outside the building envelope/limits of clearing to be done under the supervision of a professional forester.

A Property Owner's Association will own 189± acres of the project site (i.e., the Common Area Lot), to include the new road (Woodward Lake Drive), Woodward Lake and its dam, a common area at the north end of the lake, and wetlands at the south end of the lake.

The project is shown on an un-stamped subdivision plat consisting of two sheets titled "Preliminary Subdivision Plat Woodward Lake Req.: New York Land & Lakes Development, LLC," prepared by Lawson Surveying and Mapping, and last dated January 14, 2021 (Subdivision Plat).

The project is further shown on the following 33 sheets of maps and plans titled "Woodward Lake Subdivision, Woodward Lake Properties, LLC, Towns of Northampton and Mayfield, Fulton County, New York," prepared by Steven E. Smith Civil and Architectural Engineering and last dated as noted below (Project Plans).

- Drawing Index, October 9, 2020;
- G-100, General Property Layout Without Lot Lines, undated (received January 21, 2021);
- G-101, General Subdivision Plan & Site Plan Sheet Index, March 2, 2021;
- C-101, Site Plans Lots 1, 21, November 12, 2020;
- C-102, Site Plans Lots 2, 3-Partial, 20, September 9, 2020;
- C-103, Site Plans Lot 3, November 9, 2020;
- C-104, Site Plans Lot 4, January 24, 2020;
- C-105, Site Plans Lots 5, 6, January 24, 2020;
- C-106, Site Plans Lots 18, 19, January 24, 2020;
- C-107, Site Plans Lots 7, 8, 16, 17, January 24, 2020;
- C-108, Site Plans Lots 9, 10, November 18, 2020;
- C-109, Site Plans Lots 11, 12, March 2, 2021;
- C-110, Site Plans Lots 13, 14, 15, January 24, 2020;

- C-111, Site Plans Lots 22, 23, 24 & Common Area/Boat Launch, August 25, 2020;
- C-112, Site Plans Lots 32, 33, August 24, 2020;
- C-113, Site Plans Lots 25, 26, 27, August 24, 2020;
- C-114, Site Plans Lots 27, 28, 29, August 26, 2020;
- C-115, Site Plans Lots 30, 31, August 26, 2020;
- C-201, Woodward Lake Drive Sta. 0+00 to Sta. 14+00, January 24, 2020;
- C-202, Woodward Lake Drive Sta. 14+00 to Turnaround, August 19, 2020;
- C-203, Woodward Lake Drive Centerline Profiles, August 19, 2020;
- C-301, Woodward Lake Drive Erosion & Sediment Control Plan, August 20, 2020;
- C-401, Typical Lot Development Plans; Site Development, E&SC, and Stormwater Management; Separation Distances, June 17, 2020;
- C-402, Soil Profiles, Perc Test Results, Absorption System Design Criteria, November 9, 2020;
- C-501, Temporary Construction Entrance, Bridges, and Roads; Typical Retaining Wall; Sequence of Construction Notes, January 24, 2020;
- C-502, Typical Bridge, Culvert, Road, & Driveway Details, Notes, & Specifications, January 24, 2020;
- C-503, Stormwater Management, Erosion & Sediment Control Details & Specifications, January 24, 2020;
- C-504, Typical Drilled Well, Pipe Installation, & Dock Details; Water & Wastewater Notes; Septic System Maintenance, August 27, 2020;
- C-505, Onsite Wastewater System Absorption Trench Requirements, Sections, Details & Specifications, January 24, 2020;
- C-506, Onsite Wastewater System Septic Tank, Pump Tank, & Miscellaneous Details, January 24, 2020;
- E-101, Utility Plan Collins-Gifford Valley Road, Lots 1-4 & 18-20, October 8, 2020;
- E-102, Utility Plan Collins-Gifford Valley Road, Lots 5-17, March 2, 2021; and
- E-103, Utility Plan Woodward Lake Drive, Lots 22-33, October 6, 2020.

The application included a “Stormwater Pollution Prevention Plan, Woodward Lake Subdivision, Towns of Northampton & Mayfield, Fulton County, New York,” prepared by Steven E. Smith Civil & Architectural Engineering, and last dated June 23, 2020 (Stormwater Pollution Prevention Plan).

The application also included a “Forest Management Plan for the lands of Woodward Lake Properties, LLC Lot 3 Woodward Lake Subdivision,” prepared by Brian Bower, Certified Forester, and dated January 21, 2020 (Example Forest Management Plan).

A reduced-scale copy of G-101 (General Subdivision Plan & Site Plan Sheet Index) and C-401 (Typical Lot Development Plans; Site Development, E&SC, and Stormwater Management; Separation Distances) of the Project Plans are attached as a part of this permit for easy reference. The original, full-scale maps and plans described in this paragraph are the official plans for the project, with copies available upon request from Adirondack Park Agency headquarters in Ray Brook, New York.

AGENCY JURISDICTION

Pursuant to Section 809(2)(a) of the Adirondack Park Agency Act and Adirondack Park Agency regulations at 9 NYCRR Part 578, a permit is required from the Adirondack Park Agency prior to any subdivision involving wetlands in the Adirondack Park.

Pursuant to Section 809(2)(a) of the Adirondack Park Agency Act, a permit is required from the Adirondack Park Agency prior to any subdivision of Rural Use lands that results in the creation of a non-shoreline lot smaller than 7.35 acres in size in the Adirondack Park.

Pursuant to Section 809(2)(a) of the Adirondack Park Agency Act, a permit is required from the Adirondack Park Agency prior to any subdivision that results in the creation of 20 or more lots, parcels, or sites since May 22, 1973, in a Rural Use land use area in the Adirondack Park.

Pursuant to Section 809(2)(a) of the Adirondack Park Agency Act, a permit is required from the Adirondack Park Agency prior to any subdivision in a Resource Management land use area in the Adirondack Park.

Pursuant to Section 809(2)(a) of the Adirondack Park Agency Act, a permit is required from the Adirondack Park Agency prior to the construction of any single-family dwelling on Resource Management lands in the Adirondack Park.

CONDITIONS

THE PROJECT IS APPROVED SUBJECT TO THE FOLLOWING CONDITIONS:

1. The project shall not be undertaken until this permit has been recorded in the Fulton County Clerk's Office.
2. This permit is binding on the permittee, all present and future owners or lessees of the project site, and all persons undertaking all or a portion of the project. Copies of this permit and Subdivision Plat, Project Plans, and Stormwater Pollution Prevention Plan shall be furnished by the permittee to all subsequent owners or lessees of the project site prior to sale or lease, and by the permittee and/or any subsequent owner or lessee to all persons undertaking any development activities authorized herein.
3. In addition to complying with all terms and conditions of this permit, all future activities on the project site shall be undertaken in compliance with the requirements of New York State's Adirondack Park Agency Act, Freshwater Wetlands Act, and the Adirondack Park Agency's implementing regulations [9 NYCRR §§ 570-588].

Deeds

Recordation

4. All deeds conveying all or a portion of the lands subject to this permit shall contain references to this permit as follows: "The lands conveyed are subject to Adirondack Park Agency Permit 2018-0123, issued **XXXX**, the conditions of which are binding upon the heirs, successors and assigns of the grantors and all subsequent grantees."

Subdivision

5. Subject to the conditions stated herein, this permit authorizes a 34-lot subdivision as depicted on the Subdivision Plat and Project Plans. There shall be no further subdivision of any lot.

Merger

6. The Resource Management portions of Lots 1, 2, 3, 7, 8, 11, 13, and the Common Area Lot shall not be conveyed separately from the Rural Use portions of those lots.

Deed Covenant

7. The deed of conveyance for the Common Area Lot shall contain a covenant restricting the property against the construction of any single-family dwelling, mobile home, or other principal building as that term is defined under the Adirondack Park Agency Act. The deed shall state that the covenant shall run with, touch and concern the land, and that the covenant shall be enforceable by the Adirondack Park Agency, the State of New York, and landowners of the Woodward Lake Subdivision.

Easement

8. The deeds of conveyance for Lots 5-7 and Lots 23-30 shall include an easement to the Property Owners' Association and its members providing access and utility rights along shared driveways as shown on the Project Plans.
9. The deed of conveyance for Lot 9 shall include a maintenance and access easement to the public for access to/from the existing cemetery as shown on the Project Plans.
10. The deed of conveyance for Lot 11 shall include a pedestrian/hiking access easement to the public for access to State Lands as shown on the Project Plans.
11. The deed of conveyance for Lot 12 shall include an easement to the public for ingress/egress over Robert Sweet Road as shown on the Project Plans.
12. The deed of conveyance for Lot 21 shall include an easement to the Property Owners' Association for maintenance access to the Woodward Lake dam as shown on the Project Plans.
13. The deed of conveyance for the Common Area Lot shall include an easement to the Town of Northampton for installation of a dry hydrant as shown on the Project Plans.

Development

Construction Location and Size

14. Subject to the conditions stated herein, this permit authorizes the construction of one single-family dwelling and accessory structures on Lots 1-20 and 22-33 within the building envelopes shown on the Project Plans and accessory structures on Lot 21 within the existing limits of clearing shown on the Project Plans. The single-family dwellings and accessory structures shall be no more

than 40 feet in height, as measured from the highest point on the structure, to the lower of either existing or finished grade. The single-family dwellings shall not exceed 3,000 square feet in footprint, including all attached porches, decks, exterior stairs, garages, and other attached structures. The combined footprint of any accessory structure(s) not attached to the dwelling, including any guest cottage, shall not exceed 1,000 square feet. Any expansion beyond these dimensions shall require prior written Agency authorization.

15. There shall be no additional single-family dwelling or other principal building on the project site.
16. Except for the docks authorized herein, the construction of any accessory structure outside the building envelope shall require a new or amended permit.
17. Construction of any guest cottage on the project site shall require prior written Agency approval.
18. Prior to any earth disturbance or construction on Lot 9, temporary fencing and signage shall be installed to mark the 25-foot buffer around the cemetery, as shown on the Project Plans.

Boathouses

19. There shall be no boathouses on Woodward Lake.

Docks

20. This permit authorizes the construction of one dock on each of lots 20, 25, 26, 27, and the Common Area Lot as depicted on the Project Plans.
21. There shall be no docks on shoreline lots 2, 4, 8, 16, 17, 18, 19, 22, 23, 24, 28, 29, and 30.

Woodward Lake Watercraft

22. There shall be no watercraft with an internal combustion engine on Woodward Lake. Watercraft on Woodward Lake shall be limited to those with no motor or an electric-powered motor with a thrust of 50 pounds or less.

Outdoor Lighting

23. Any new free-standing or building-mounted outdoor lights shall employ full cut-off fixtures that are fully shielded to direct light downward and not into the sky or toward Collins-Gifford Valley Road, High Rock Road, Woodward Lake Drive, Woodward Lake, or adjoining property.

Building Color

24. On lots 1, 4, 8, 10-14, 16-20, 23, 24, and 29, all exterior building materials, including roof, siding and trim, of the dwelling and any accessory structure on that lot shall be a dark shade of green, grey, or brown.

Tree Cutting/Vegetation Removal

25. Prior to the conveyance of lots 2, 3, 7, 8 and 11, New York Land and Lakes Development, LLC, or its successors and assigns, shall obtain from the Agency written approval of an individual Forest Management Plan prepared by a Professional Forester for the lot. Each individual Forest Management Plan shall be based on the Example Forest Management Plan and shall adhere, at a minimum, to the standards described in the current edition of the "New York State Forestry Best Management Practices for Water Quality." In addition, each individual Forest Management Plan shall prohibit the removal of woody and herbaceous vegetation from within 100 feet of the mean high watermark of Woodward Lake, within 100 feet of the edge of APA-regulated wetlands, and within 35 feet of all permanent and intermittent streams, as described in Condition 27 below.
26. On the project site and outside the building envelopes and limits of disturbance depicted on the Project Plans, no trees or other woody vegetation may be cut, culled, trimmed, pruned, or otherwise removed or disturbed without prior written Agency authorization, except:
- a. on each authorized building lot, up to two cords of wood in each one-year period for personal use;
 - b. pursuant to any Agency-approved individual Forest Management Plan prepared by a Professional Forester that provides specific management goals and strategies for the lot and meets the additional requirements of conditions 25 and 27;
 - c. creation and maintenance of the 8-foot-wide shoreline access paths depicted on the Project Plans;
 - d. creation and maintenance of the common access to Woodward Lake depicted on the Project Plans;
 - e. construction and maintenance of Woodward Lake Drive as depicted on the Project Plans;
 - f. access to and maintenance of the dam;
 - g. creation and maintenance of a hiking trail to State Lands within the easement limits on Lot 11;
 - h. maintenance of the existing clearings, paths, and wood roads shown on the Project Plans, except that existing woods road crossings through wetlands on Lot 7 shall be reduced to one crossing;
 - i. maintenance of the existing clearing, driveway, and utilities on Lot 21; and
 - j. removal of dead or diseased vegetation, rotten or damaged trees, or any other vegetation that presents a safety or health hazard.
27. In addition to Condition 26 above, within 100 feet of the mean high water mark of Woodward Lake, within 100 feet of the edge of all APA-regulated wetlands, and within 35 feet of all permanent and intermittent streams, no woody or herbaceous vegetation may be cut, culled, trimmed, pruned, or otherwise removed or disturbed, and no duff (leaves, twigs, dead plant material, woody biomass, and other organic matter) may be removed or disturbed without prior written Agency authorization, except:
- a. creation and maintenance of the 8-foot-wide shoreline access paths depicted on the Project Plans;

- b. road construction/maintenance and utility installation/maintenance within the road right-of-way; and
- c. removal of dead or diseased vegetation, rotten or damaged trees, or any other vegetation that presents a safety or health hazard.

Wetlands

- 28. The undertaking of any activity involving wetlands on the project site, including the improvement of any logging road(s) involving wetlands, shall require a new or amended permit.
- 29. On the Common Area Lot, the hand-launch boat launch shall not be improved by the installation of any fill or structures.

Invasive Species Control/Sanitizing Equipment

- 30. When brought from off-site, all equipment, including but not limited to trucks, excavators, tractors, etc., and hand excavation tools such as shovels, rakes, and picks, to be used on the project site shall be clean and free of soil, mud, or other similar material. If washed on the project site, equipment shall be washed in one location to prevent the distribution of propagules among different wash sites. All construction equipment and vehicles operating in areas that may contain existing invasive species shall be thoroughly cleaned prior to moving to other areas.
- 31. New York Land and Lakes Development, LLC, its successors and assigns, shall install and maintain aquatic invasive species spread prevention signage at the Common Area access point on Woodward Lake. The sign language shall be consistent with the latest NYSDEC recommendations, which currently include the requirement to “clean, drain, and dry all watercraft before launching and after exiting” a given water body.
- 32. No plant species listed as a prohibited invasive species in 6 NYCRR Part 575.3 shall be sold, imported, purchased, transported, introduced, or propagated on the project site.

Density

- 33. There shall be no principal building located on the Common Area Lot.
- 34. On Lot 21, there shall be no more than one principal building at any time. The single-family dwelling constructed on the property in 1997 constitutes a principal building.
- 35. There shall be no more than one principal building located on any building lot (i.e., lots 1-20, 22-33) at any time. Each single-family dwelling authorized herein constitutes one principal building.

Infrastructure

Subdivision Road/Driveways

36. Woodward Lake Drive and the "Shared Driveway By Developer" for the lot shall be constructed by New York Land and Lakes Development, LLC, or its successors and assigns, in accordance with the Project Plans. Any modifications from these plans shall require prior written Agency authorization.
37. All driveways shall be constructed in the locations shown on the Project Plans. Any modifications from these plans shall require prior written Agency authorization.
38. The existing road providing a common access point for lots 2 and 3 shall not be widened beyond its current width.

Wastewater

39. Any on-site wastewater treatment system on lots 1-20 or lots 22-33 installed within five years of the date of issuance of this permit shall be constructed in conformance with the location and design shown on the Project Plans. Construction of the system shall be supervised by a New York State design professional (licensed engineer or registered architect). Within 30 days of complete system installation and prior to its utilization, the design professional shall provide written certification to the Agency that the system was built in compliance with the approved plans.

No on-site wastewater treatment system shall be installed on the project site more than five years after the date of issuance of this permit except pursuant to written authorization from the Agency.

40. There shall be no on-site wastewater treatment system located on the Common Area Lot.

Stormwater Management/Erosion and Sediment Control/Grading

41. Stormwater management, erosion and sediment control, and grading shall be undertaken in compliance with the Stormwater Pollution Prevention Plan and Project Plans. Any modifications from these plans shall require prior written Agency authorization.
42. Upon undertaking any land disturbance outlined in the Stormwater Pollution Prevention Plan on individual lots, lot owners shall be responsible for implementation of the Stormwater Pollution Prevention Plan and Project Plans (including Erosion and Sediment Control Plans) on those individual lots.
43. Upon undertaking any land disturbance outlined in the Stormwater Pollution Prevention Plan on the Common Area Lot (including improvements for lake access and Woodward Lake Drive), New York Land and Lakes Development, LLC, or its successors and assigns, shall be responsible for implementation of the Stormwater Pollution Prevention Plan and Project Plans (including Erosion and Sediment Control Plans) on the Common Area Lot.

44. Prior to construction, erosion control measures shall be installed around the dry hydrant location to protect water quality during installation.

Infrastructure Construction

45. Prior to conveyance of any authorized building lot, the access drive, parking area, and dock on the Common Area Lot shall be constructed by New York Land and Lakes Development, LLC, or its successors and assigns, and certification by a professional engineer licensed to practice in New York State that the Common Area access drive, parking area, and dock have been constructed according to the Project Plans authorized herein shall be provided to the Agency.
46. Prior to the conveyance of lots 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, or 33, Woodward Lake Drive shall be constructed by New York Land and Lakes Development, LLC, or its successors and assigns, and certification by a professional engineer licensed to practice in New York State that Woodward Lake Drive has been constructed according to the Project Plans authorized herein shall be provided to the Agency.
47. Prior to the conveyance of lots 5-7 and lots 23-30, each "Shared Driveway By Developer" shall be constructed by New York Land and Lakes Development, LLC, or its successors and assigns, and certification by a professional engineer licensed to practice in New York State that each "Shared Driveway By Developer" has been constructed according to the Project Plans authorized herein shall be provided to the Agency.
48. Installation of utilities shall be along and within the 60-foot-wide right-of-way for Collins-Gifford Valley Road, within the 60-foot-wide right-of-way for Woodward Lake Drive, within the 20-foot-wide easement for shared driveways, and/or within the limits of disturbance for individual driveways, as shown on the Project Plans. Any utility installation that is not within these rights-of-way, easements, and limits shall require prior written Agency authorization.

Signs

49. Any new signs on the project site shall comply with the sign standards established in Agency regulations at 9 NYCRR Appendix Q-3.

Reports

50. At the request of the Agency, the permittee or the permittee's successors and assigns shall report in writing the status of the project, including details of compliance with any terms and conditions of this permit.

CONCLUSIONS OF LAW

The Agency has considered all statutory and regulatory criteria for project approval set forth in the Adirondack Park Agency Act, the Freshwater Wetlands Act and 9 NYCRR Part 578, and 9 NYCRR Part 574. The Agency hereby finds that the subdivision and associated development authorized as conditioned herein:

- a. will be consistent with the land use and development plan;
- b. will be compatible with the character description and purposes, policies, and objectives of the Rural Use and Resource Management land use areas;
- c. will be consistent with the overall intensity guidelines for the Rural Use and Resource Management land use areas;
- d. will comply with the shoreline restrictions of § 806 of the Adirondack Park Agency Act;
- e. will not have an undue adverse impact upon the natural, scenic, aesthetic, ecological, wildlife, historic, recreational or open space resources of the Park or upon the ability of the public to provide supporting facilities and services made necessary by the project;
- f. will secure the natural benefits of wetlands associated with the project, consistent with the general welfare and beneficial economic, social, and agricultural development of the state; and
- g. will be compatible with preservation of the entire wetland and will not result in degradation or loss of any part of the wetland or its associated values.

PERMIT issued this day
of , 2021.

ADIRONDACK PARK AGENCY

BY: _____
Robert J. Lore
Deputy Director, Regulatory Programs

STATE OF NEW YORK
COUNTY OF ESSEX

On the day of in the year 2021, before me, the undersigned, a Notary Public in and for said State, personally appeared Robert J. Lore, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that they executed the same in their capacity, and that by their signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

Notary Public

Site Plan Development Notes:

1. Typical Plans Are Provided For Illustrative Purposes Only, Including the Locations, Orientations, and Footprints of Structures. Driveway Locations and Site Grading Are Also Illustrative. Separation Criteria Are Provided for Guidance Concerning Site Development.
2. On Any Lot, All Residential and Accessory Structures, Onsite Wastewater Systems, and Wells Shall Be Located Within the Designated Building Envelope.
3. Vegetative Clearing Shall Be Limited To Areas Required For Construction Of Structures, Driveway, Septic System, Stormwater Management Practices, and Landscaping. With Exception of Access Driveway, Clearing Shall Be Wholly Contained Within Building Envelopes. On Shoreline Lots, Clearing For Foot Paths Up To 8' Wide Is Permitted And Limited To Foot Path Envelopes As Shown On the Site Plans.
4. Roof Leaders, Foundation Drains, Cellar Drains, Backwash Drains, Etc. May Not Be Connected to the Sewage System and Shall Be Installed In Such a Manner That Drainage Is Directed Away From the Sewage Absorption Area. No Drain Shall Be Installed To Discharge Directly Into Any Stream Or Ditch, Nor Onto An Impervious Surface. Roof Leaders and Drains Shall Discharge Onto Vegetated Ground Only.

Separation Distances

The Following Table Lists the Minimum Required Horizontal Separation Distances From Wastewater System Components. New Systems Shall Be Staked Out, and Distances Shall Be Verified for Compliance, Prior to Construction.

SYSTEM COMPONENT	To Well	To Water Service Line	To Dwelling	To Property Line	To Wetland, Lake, or Stream	To Drainage or Ditch	To Top of Steep Slope (>25%)
House Sewer (Raw Sewage Line)	50'	10'	3'	25'	25'	---	---
Septic Tank	50'	10'	10'	25'	50'	10'	25'
Effluent Line	50'	10'	10'	25'	50'	10'	25'
Distribution Box	100'	10'	20'	25'	100' *	25'	25'
Absorption Field (See Notes Below)	100'	10'	20'	25'	100' *	25'	25'

Notes:

Measured From Nearest Trench Edge or End, Except For Systems Requiring the Placement of Fill Material Where the Trench Bottoms Are Higher Than 6" Below Existing Ground Surface, In Which Case Separation Distances Are Measured From the Toe of the Slope of the Fill. Separation Distances Shall Also Be Measured From the Designated Reserve Area.

* 200' If Soil Percolation Rate is Less Than 3 Minutes Per Inch.

Stormwater Management

Lot Owner Is Responsible For Ensuring Installation And Maintenance Of Erosion & Sediment Controls During Construction On Their Lot, As Well As Installation And Long Term Maintenance Of Appropriate Stormwater Management Practices As Described In The Stormwater Pollution Prevention Plan For The Subdivision. Owner's Responsibilities Include Notifying the Property Owners Association of Planned Construction Activities, Schedule, Actual Start and Completion Dates, and Any Suspension of Activities. Owner is Referred To The SWPPP For Instructions.

Erosion And Sediment Control

1. All Work Shall Comply With Applicable Provisions of NYS DEC "Standards and Specifications For Erosion and Sediment Control".
2. Temporary Silt Fence Shall Be Placed Immediately Downgradient of Any Disturbed Area Intended to Remain Disturbed Longer Than One Working Day. Silt Fences Shall Be Installed Along Contours To Intercept Runoff. Straw Bale Dikes May Be Used In Lieu Of Silt Fence.
3. Temporary Stone Check Dams Shall Be Installed in Areas of Concentrated Flow Which Are in the Path of Surface Runoff From Disturbed Work Areas.
4. Excavated Material Shall Be Placed on Upslope Side of Excavation.
5. All Storm Drain Appurtenances, Ditches, Etc. Shall Remain Functional During Construction. Excavated Material May Not be Placed in Drainage Ditches. Ditches, Riprap, And Storm Drain Appurtenances Shall be Restored to Original Condition Immediately Following Construction.
6. Stabilize Disturbed Areas Intended to be Nonimpervious With Permanent Seeding. Use Mulches or Geotextiles When Seeding, or Leave Temporary Controls in Place Until Dense and Vigorous Cover (80%) is Established.

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**Woodward Lake
Properties, LLC**
Woodward Lake Subdivision
Towns of Northampton & Mayfield
Fulton County, NY

Adirondack
Park Agency
FINAL
P2018-0123

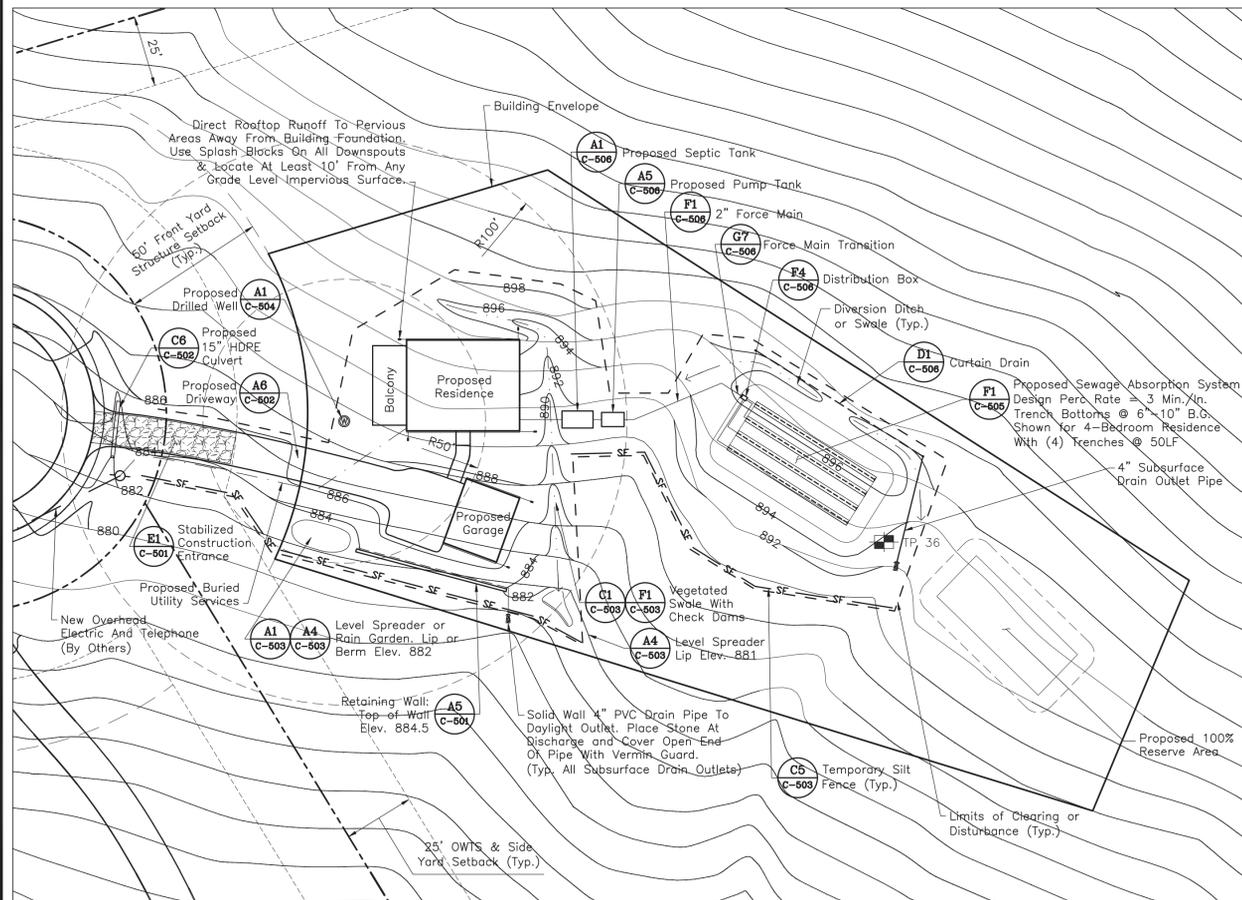
No.	Description	Date
1	Revised Stormwater Management Notes	06/17/20
Revision Schedule		
1	Construction Drawing	MM/DD/YY
1	Agency Review Drawing	01/24/20
Drawing Log		

DRAWN BY: **BCT**

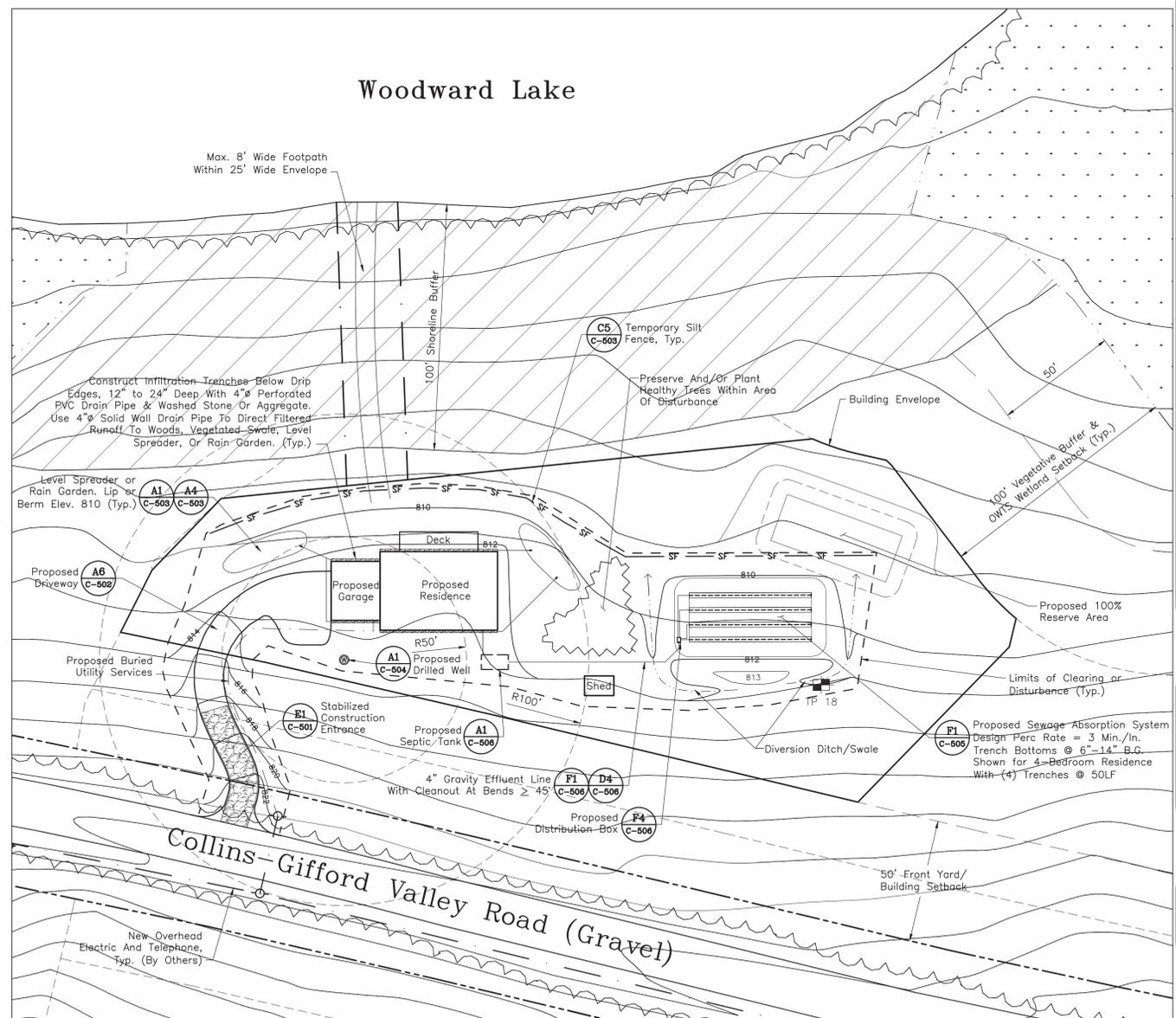
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SHEET NAME:
**Typical Lot Development Plans;
Site Development, E&SC,
and Stormwater Management Notes;
Separation Distances**

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C-401



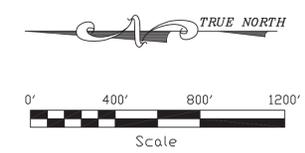
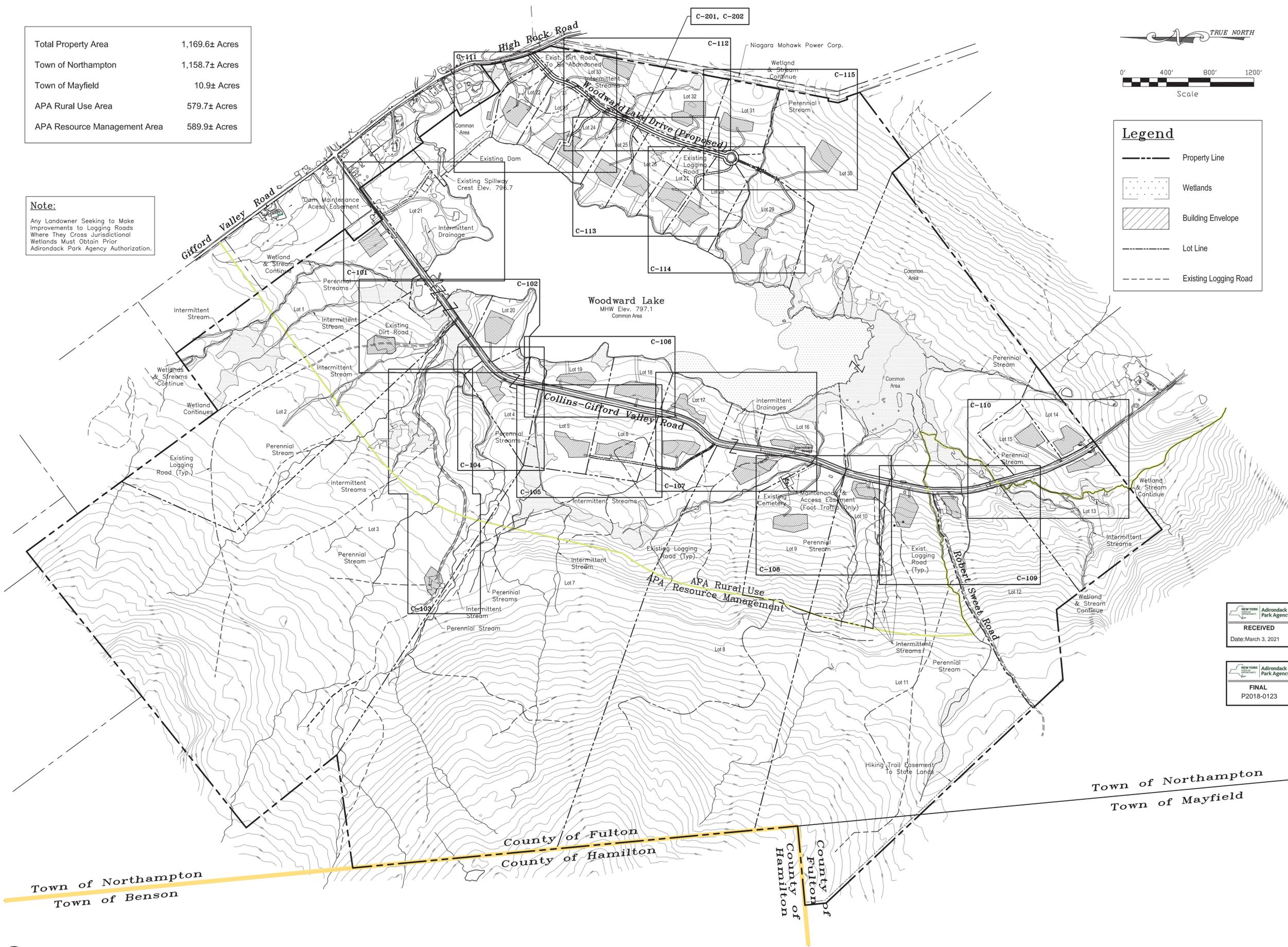
1 Typical Lot Development Plan
Scale: 1" = 30'



2 Typical Lot Development Plan
Scale: 1" = 30'

Total Property Area	1,169.6± Acres
Town of Northampton	1,158.7± Acres
Town of Mayfield	10.9± Acres
APA Rural Use Area	579.7± Acres
APA Resource Management Area	589.9± Acres

Note:
Any Landowner Seeking to Make Improvements to Logging Roads Where They Cross Jurisdictional Wetlands Must Obtain Prior Adirondack Park Agency Authorization.



Legend

	Property Line
	Wetlands
	Building Envelope
	Lot Line
	Existing Logging Road

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Towns of Northampton & Mayfield
Fulton County, NY

	Relocated Lot 11 Driveway Southward	03/02/21
	Revised Subdivision Plan	09/15/20
	Added Note Regarding Improvements to Logging Roads	08/24/20
	Added Existing Logging Road on Lot 7	08/24/20
	Revised Sheet Layout	06/17/20
No.	Description	Date
Revision Schedule		
Construction Drawing		MM/DD/YY
Agency Review Drawing		01/24/20
Drawing Log		
DRAWN BY:		

Adirondack Park Agency
RECEIVED
Date: March 3, 2021

Adirondack Park Agency
FINAL
P2018-0123

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It is a violation for any person to alter the plan in any way, unless acting under the direction of an appropriately licensed person.

SHEET NAME:
APA Subdivision Application
General Subdivision Plan
& Site Plan Sheet Index

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