



**Adirondack
Park Agency**

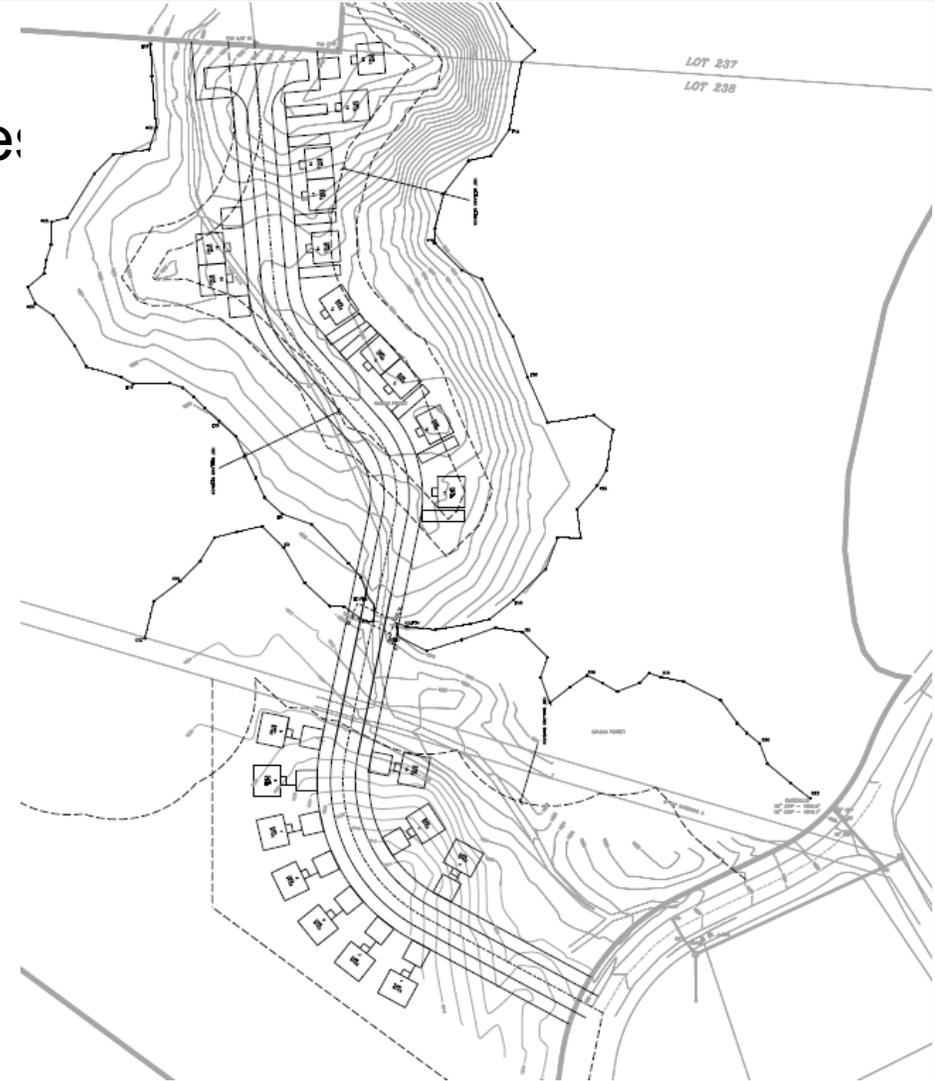
Homestead Development

Application 2025-0122

February 19, 2026

Project Overview

- Residential Development and Access Road
 - 22 units (16 Single Family Dwellings, 3 Duplexes)
 - Municipal Water, Sewer, and Electric Available
 - 3.9 acres of total disturbance
- Project Area
 - 30 +/- acres
 - Adjacent Existing Development
 - Close to Services
- Staff Recommendation
 - Approve With Conditions
 - Compliance with Plans
 - Stormwater Management
 - Wetland Protection

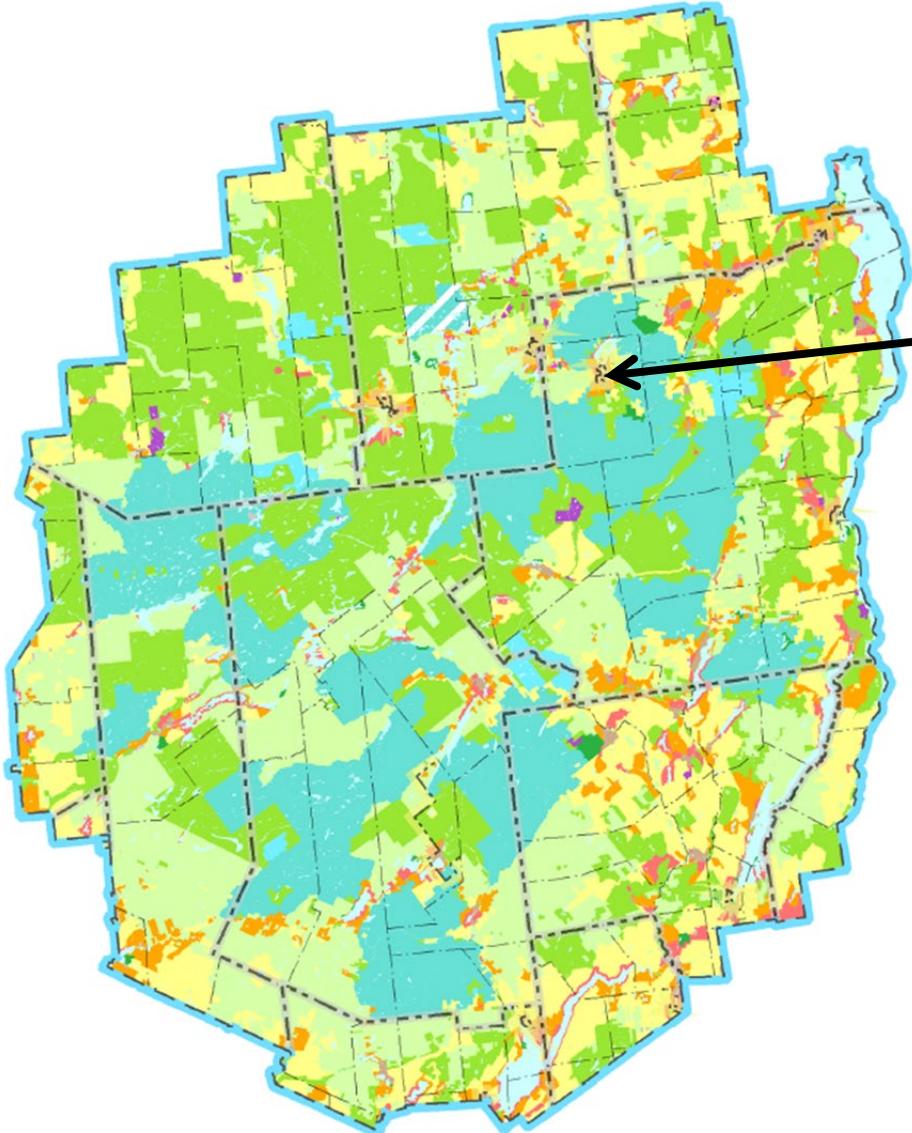


Jurisdiction

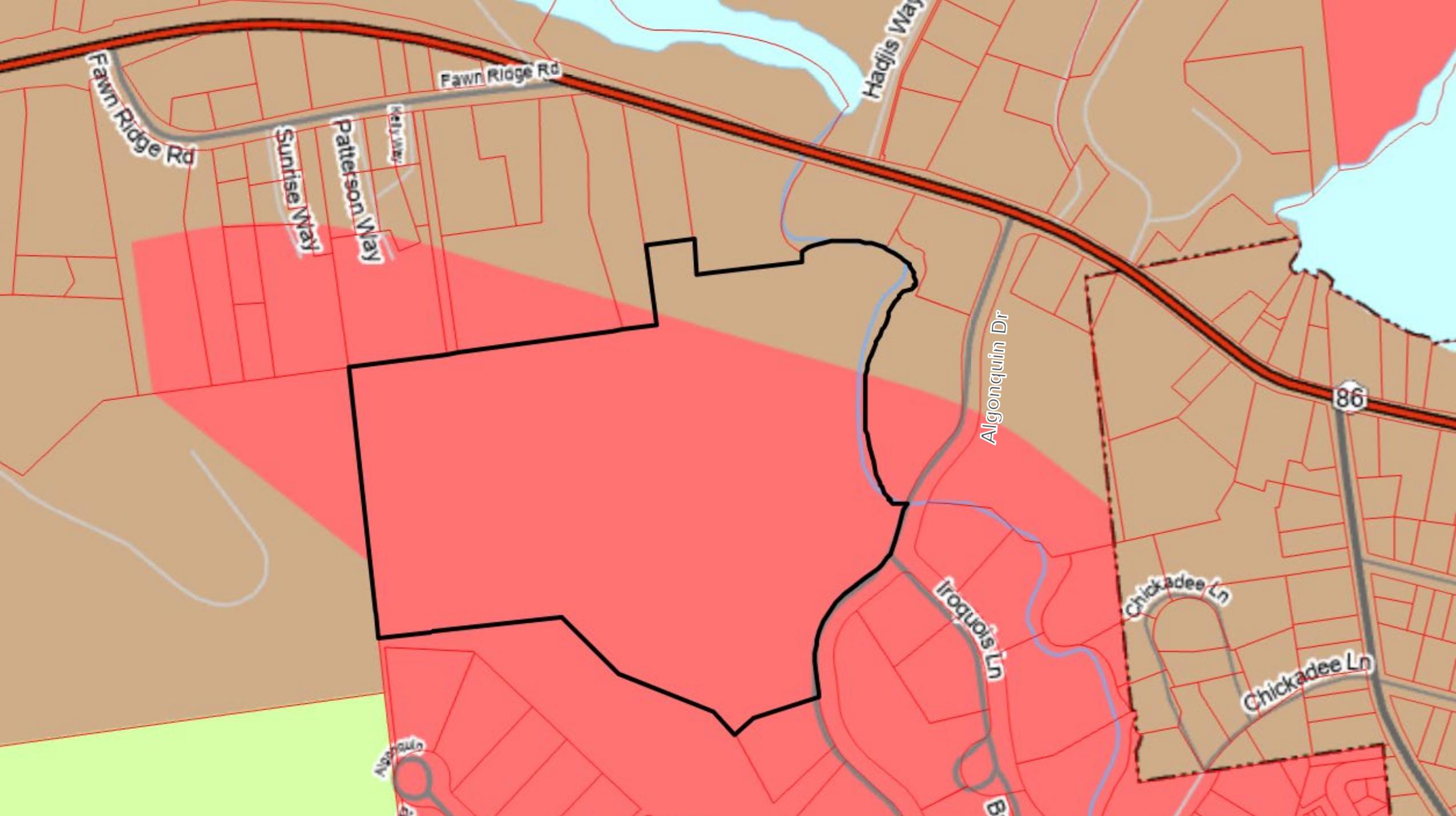
- APA Act § 809
 - Class A Regional Project
 - Land Use & Development Involving wetlands
 - Class B Regional Project
 - Number of sites created in Moderate Intensity Use (>15)
 - Construction of multiple family dwellings in Moderate Intensity Use
- Regulated Wetland Activity – 9 NYCRR Part 578
 - Installation of a culvert involving wetlands
 - Subdivision of land containing wetlands
- Condition 2 of Agency Permit 2015-0159A

Project Location

Project Location



**Town of North Elba,
Essex County**



Fawn Ridge Rd

Fawn Ridge Rd

Sunrise Way

Patterson Way

Kelly Way

Hadjis Way

Algonquin Dr

Iroquois Ln

Chickadee Ln

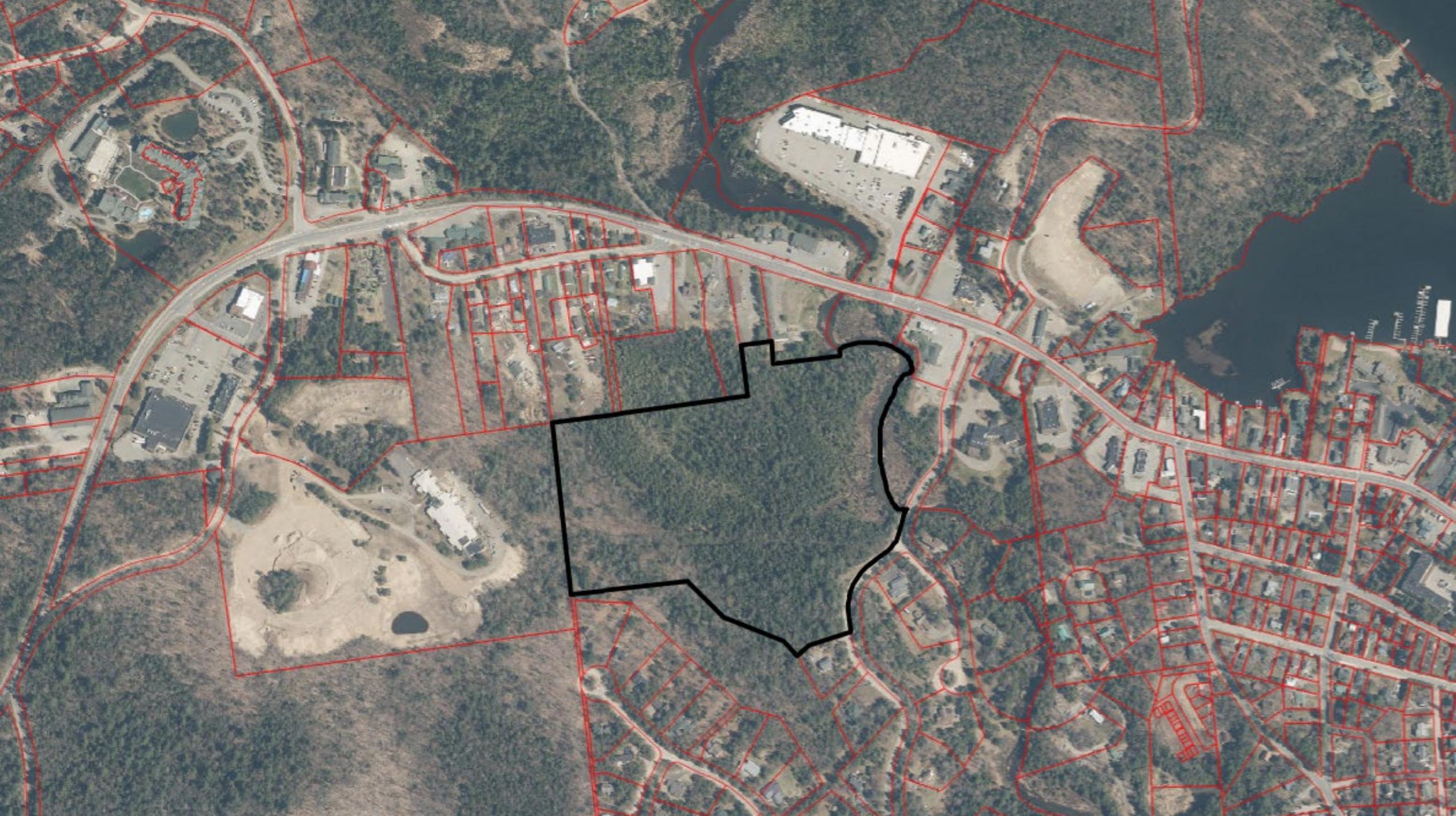
Chickadee Ln

86

Map icon

B

Character of the Area





Sara-Placid Rd

30

CORNETT BOYS GUILD
1st & 2nd
MET ON SUNDAY MORNING 8
11:00 AM
MUSICIAN CHIEF
11-12-18







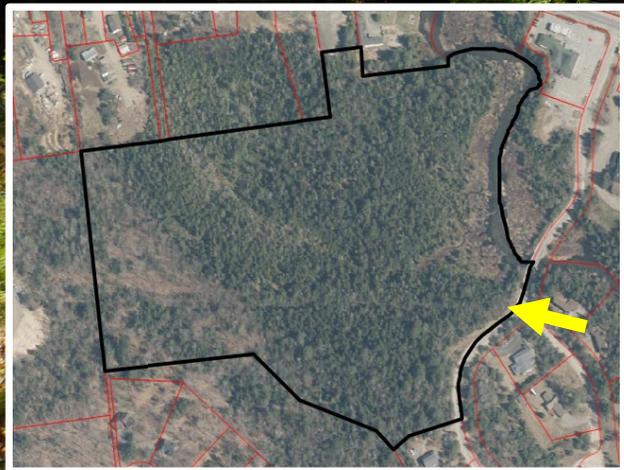


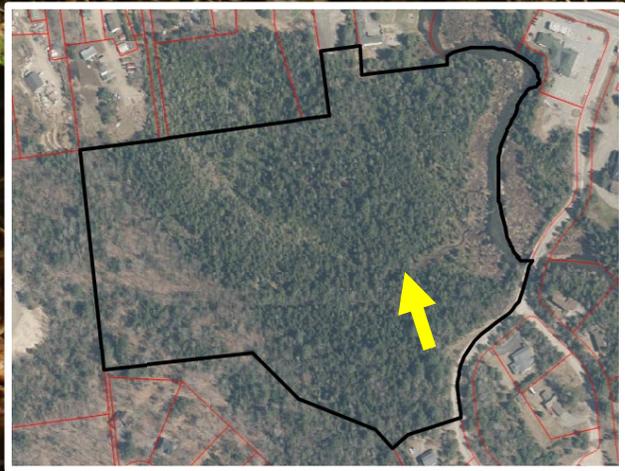


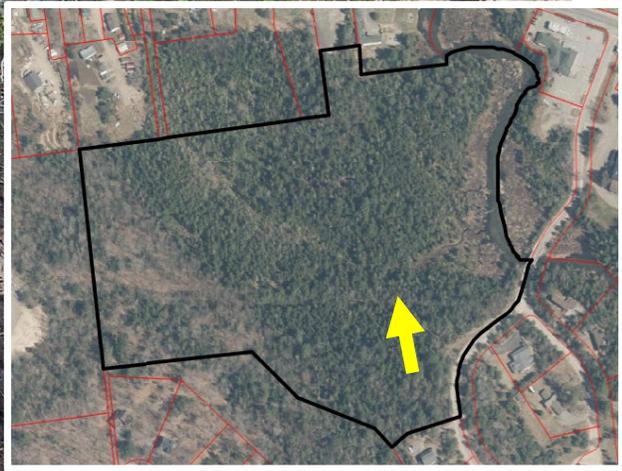


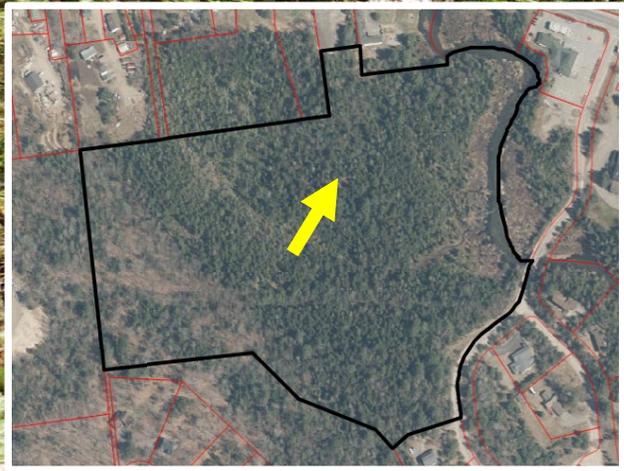
Existing Conditions

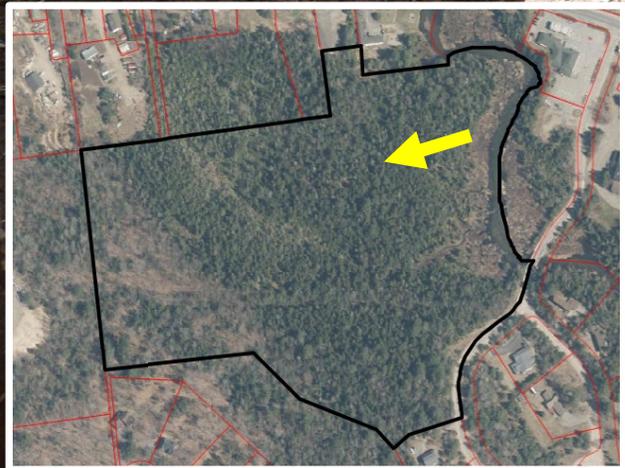




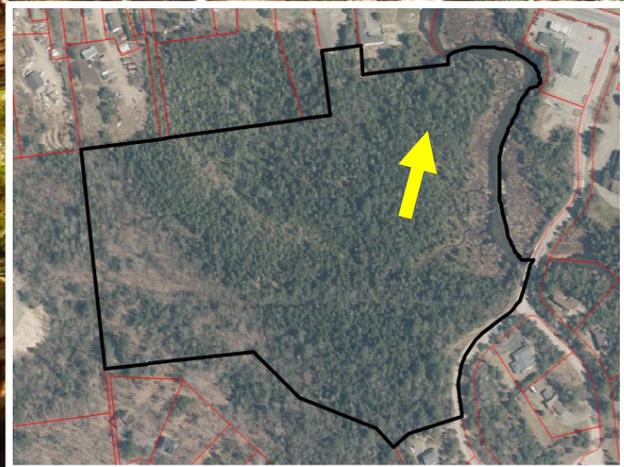


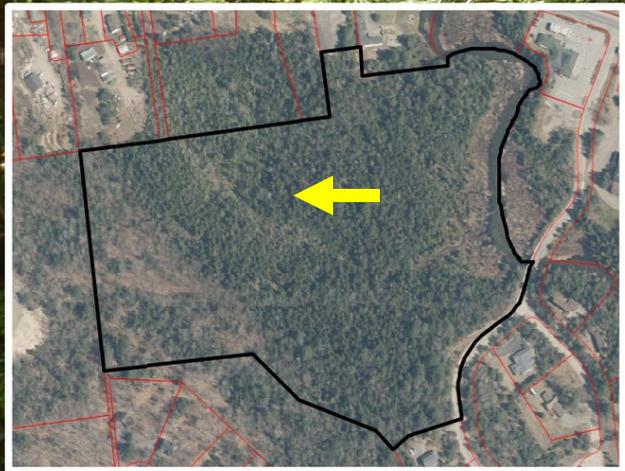






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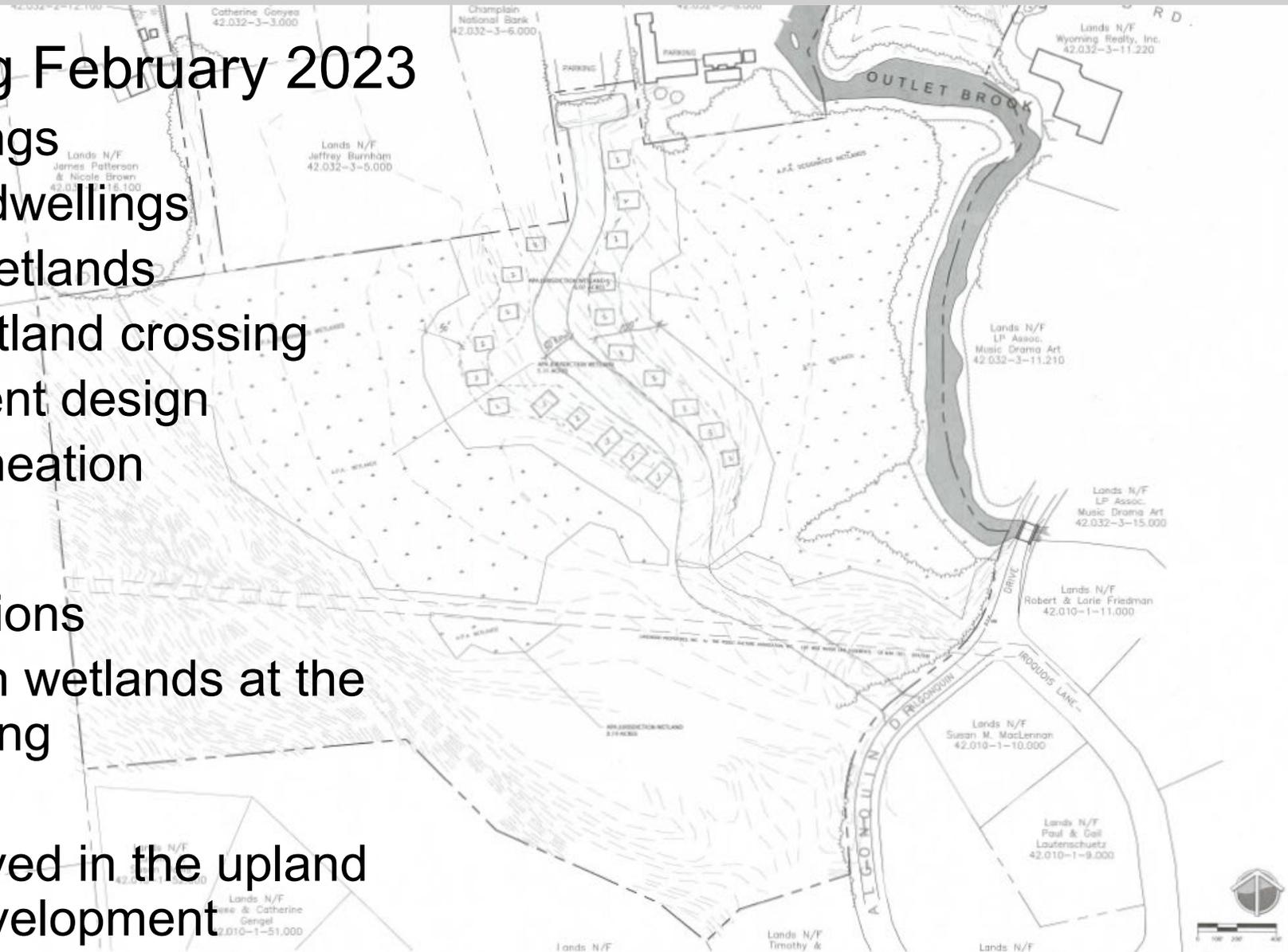


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Proposed Project

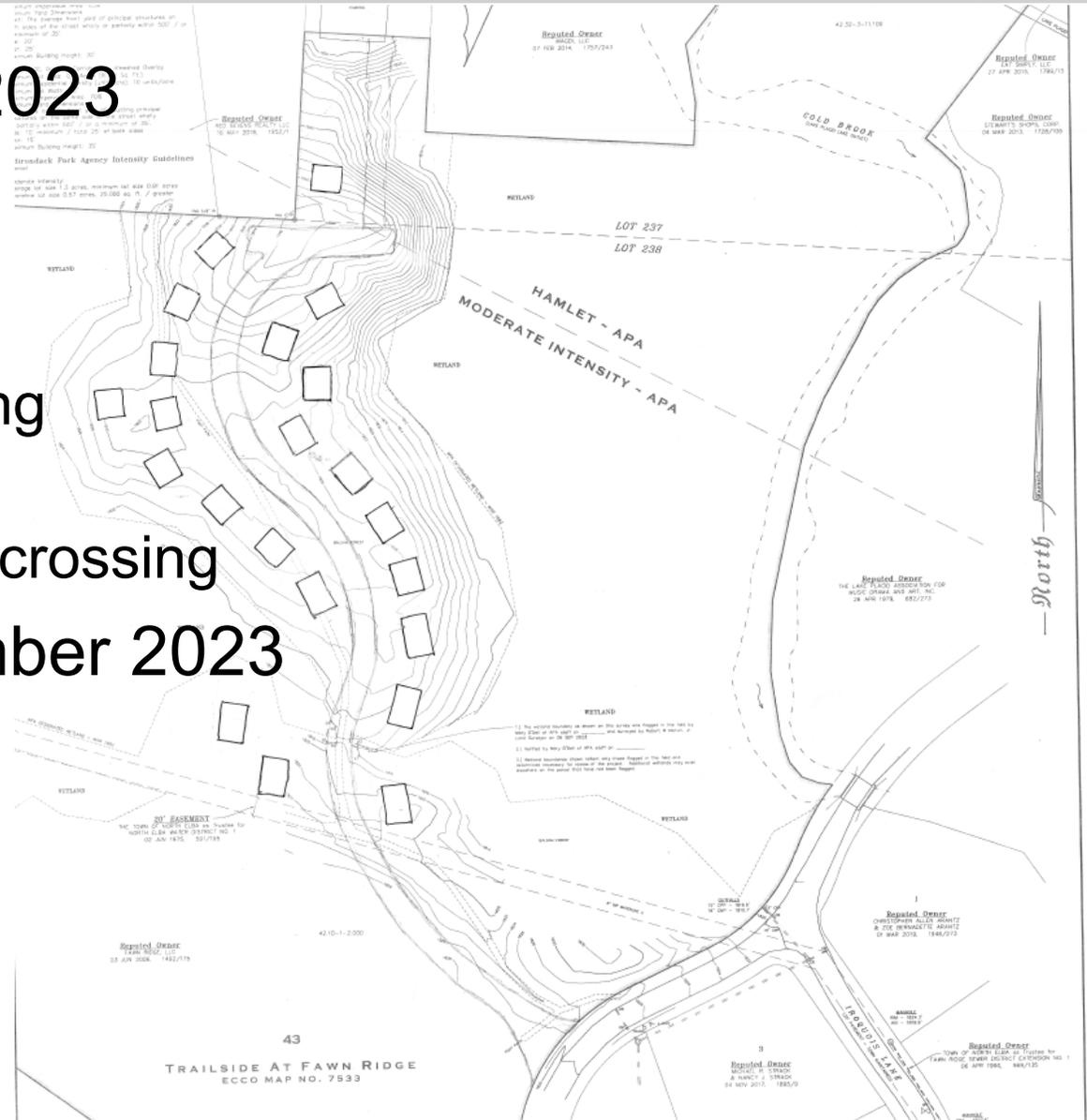
Preapplication and Site Plan Development

- Preapplication Meeting February 2023
 - 21 single family dwellings
 - Cape and ranch style dwellings
 - All within 100 feet of wetlands
 - All north of existing wetland crossing
 - Longer road than current design
 - Outdated wetland delineation
- Site Visit May 2023
 - Verified existing conditions
 - Delineated the break in wetlands at the existing wetland crossing
 - Discussed alternatives
 - No vernal pools observed in the upland areas proposed for development



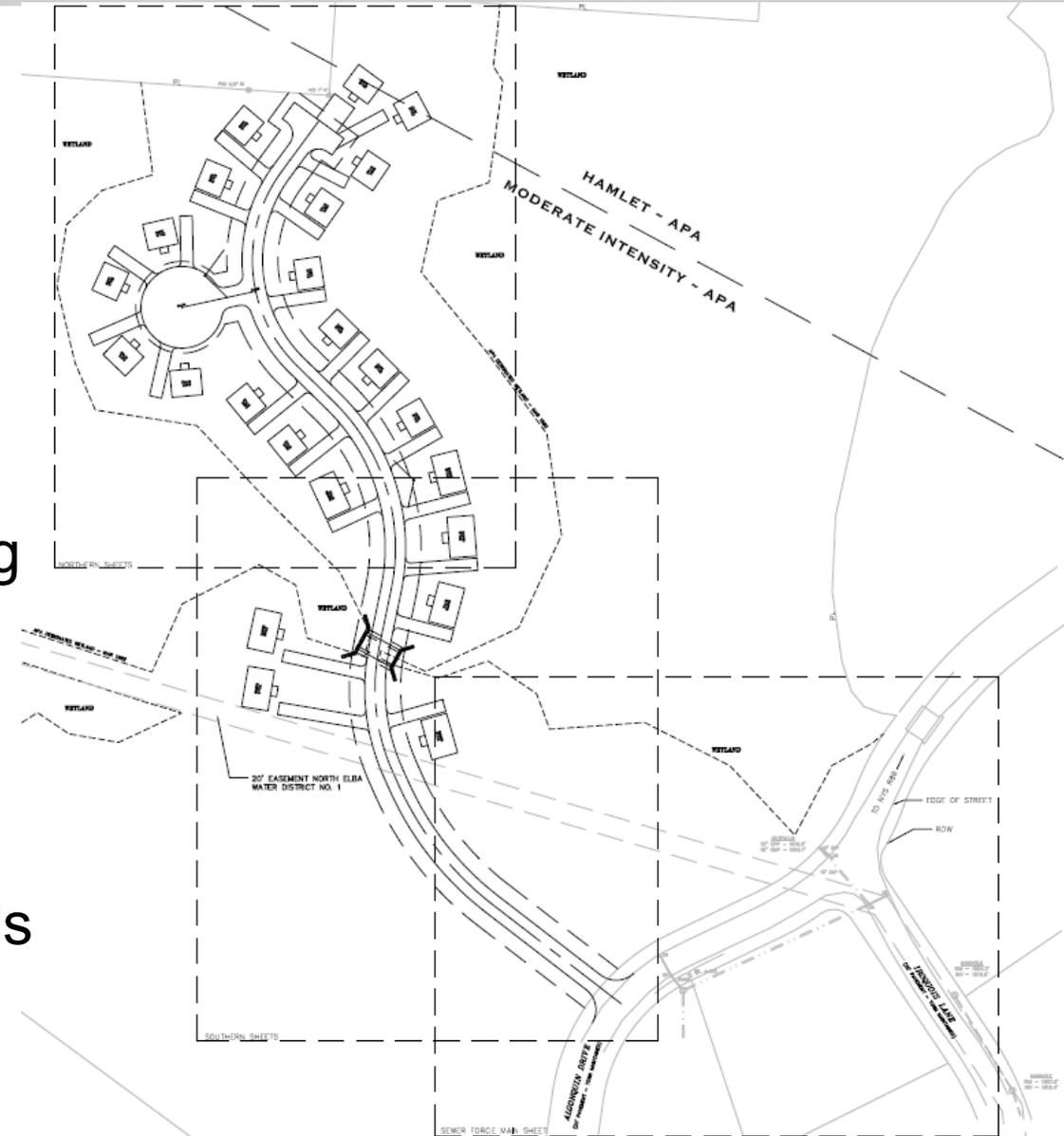
Preapplication and Site Plan Development

- Revised Sketch Received October 2023
 - 22 single family dwellings
 - Cape and ranch style dwellings
 - 18 within 100 feet of wetlands
 - 3 units located south of existing crossing
 - Shorter road than originally proposed
 - Shows updated wetland delineation at crossing
- Applicant Engaged Engineer November 2023
 - Feasibility
 - Project design layout
 - Stormwater management planning



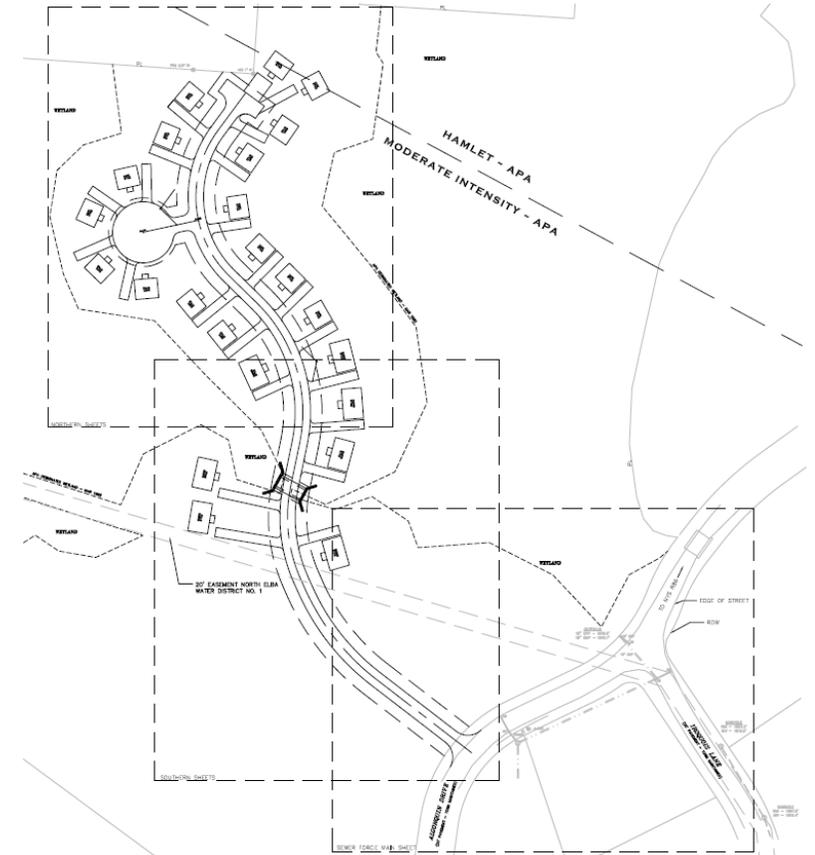
Preapplication and Site Plan Development

- Progress Draft Received April 2025
 - 23 single family dwellings
 - Cape and ranch style dwellings
 - 19 units within 100 feet of wetlands
 - 3 units located south of crossing
 - Road includes additional cul-de-sac
 - Replacement culvert depicted at crossing
- Additional Meeting May 2025
 - Alternative design discussions
 - Additional wetland site visit required
 - Staff requested additional site plan details
 - Staff provided required applications



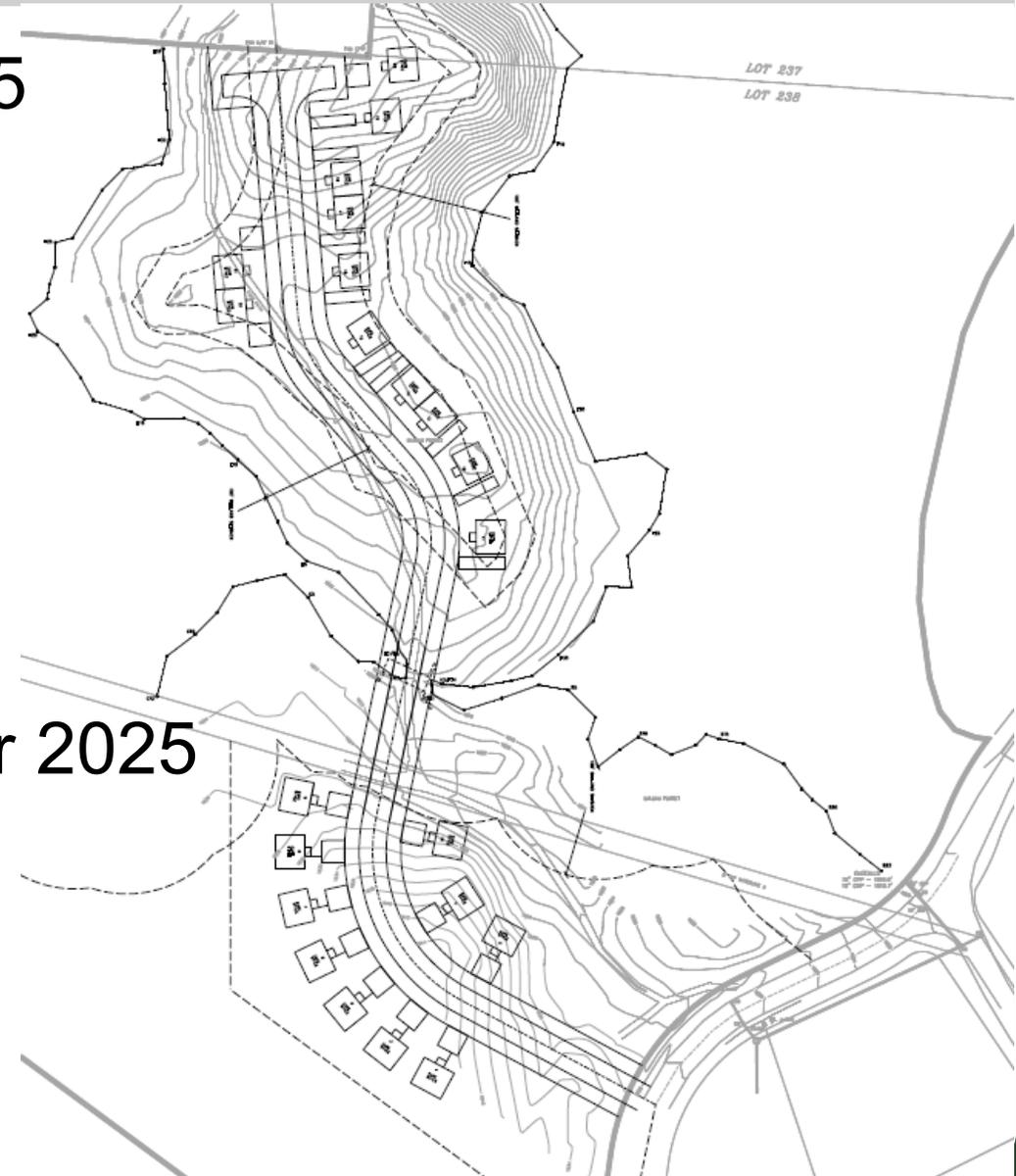
Application and Additional Materials Provided

- Major Project Application Received June 2025
 - Included the previously submitted Progress Draft received in April
 - Staff requested additional information:
 - Wetlands
 - Project Plans and Construction Details
 - Other Regulatory Permits and Approvals



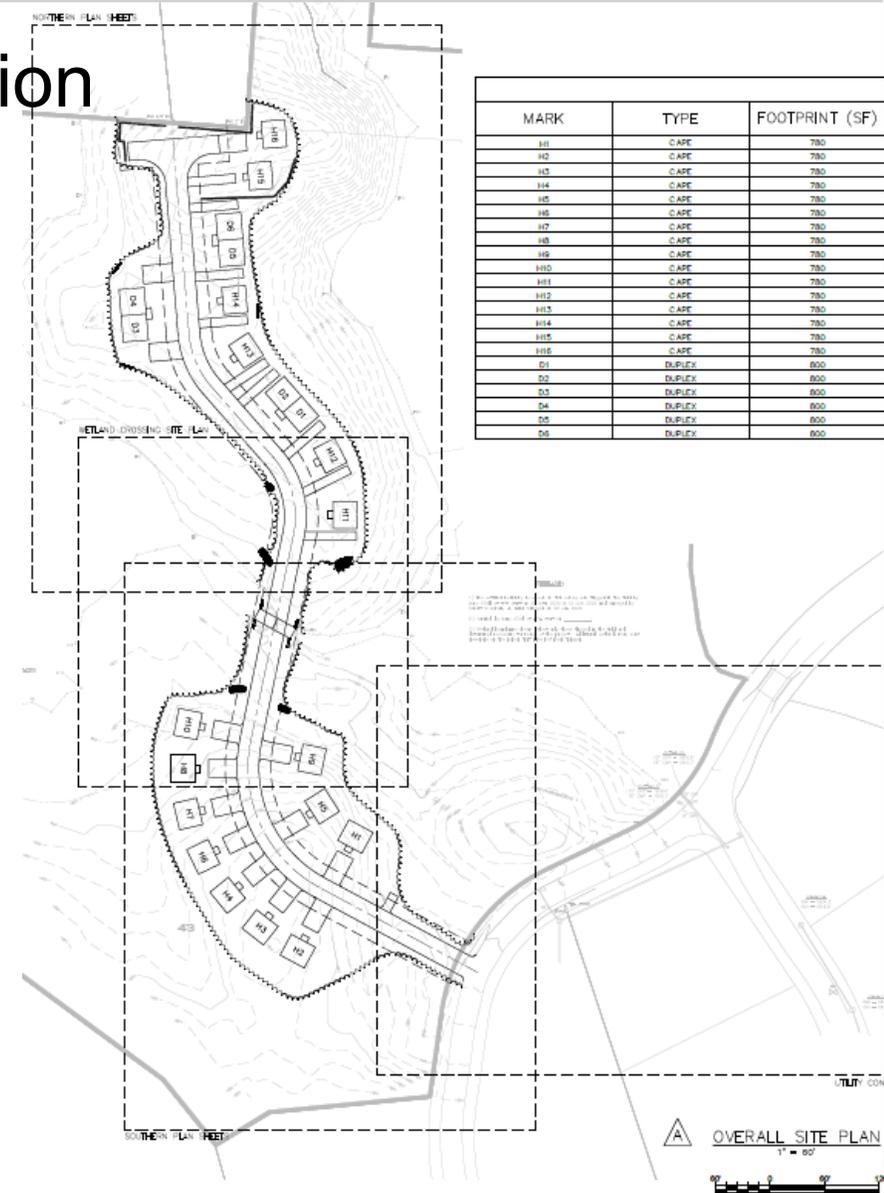
Additional Site Plan Development

- Revised Site Plan Received August 2025
 - 16 cape style single family dwellings
 - 3 Duplexes
 - 14 units > 100 feet from wetlands
 - 7 units > 90 feet from wetlands
 - 10 units located south of crossing
 - Updated wetland delineation surveyed
 - Eliminates cul-de-sac
- Additional Details Requested September 2025
 - Wetlands protection
 - Limits of clearing
 - Stormwater management



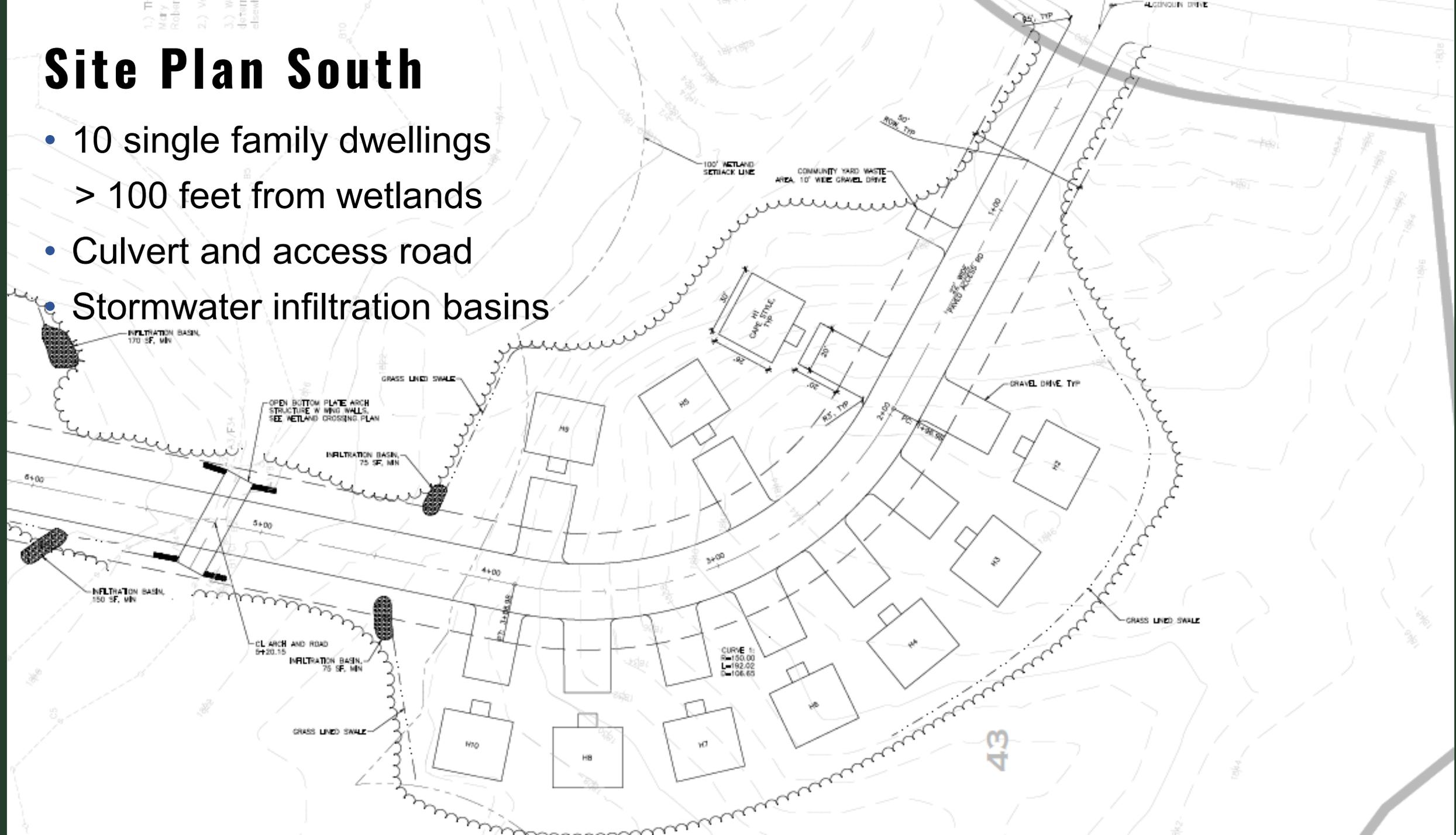
Additional Site Plan Development and Review

- Further revised plans and additional information
 - December 2025 and January 2026
 - Reduced area of clearing and soil disturbance
 - Additional stormwater management depicted
 - Additional wetland details provided
 - Confirmation of coordination with other agencies, services and utility providers
- Application complete January 12, 2026



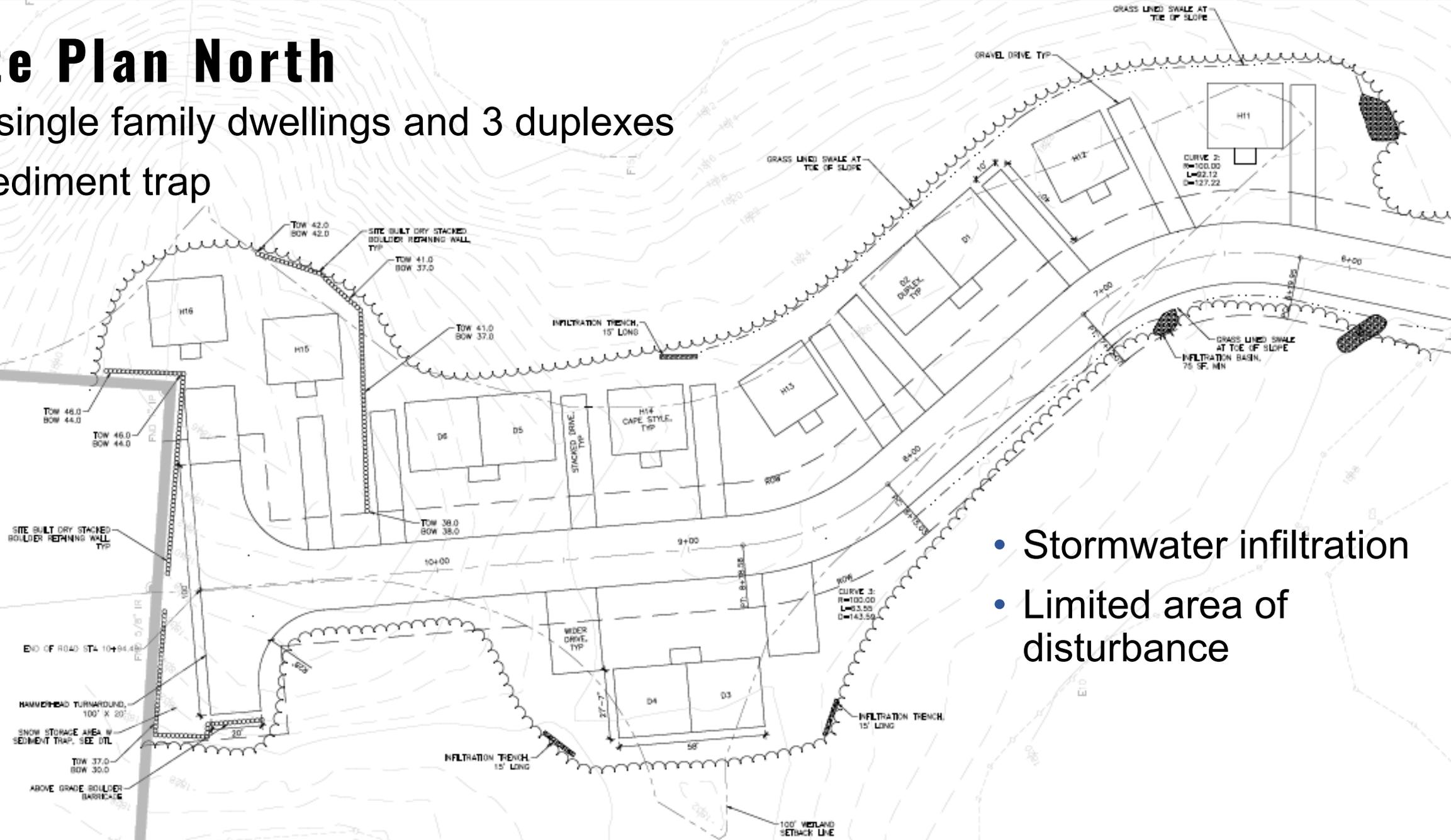
Site Plan South

- 10 single family dwellings
- > 100 feet from wetlands
- Culvert and access road
- Stormwater infiltration basins



Site Plan North

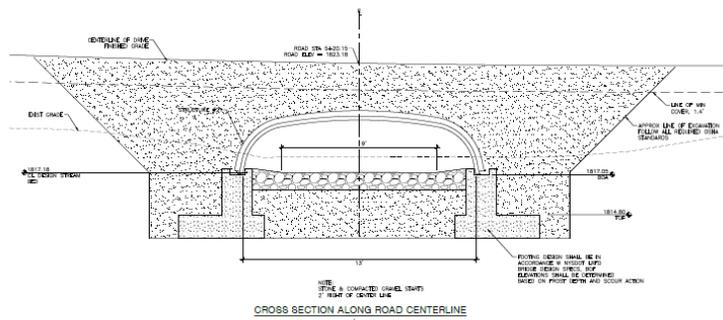
- 6 single family dwellings and 3 duplexes
- Sediment trap



- Stormwater infiltration
- Limited area of disturbance

Wetland Crossing Site Plan

- 180 SF temporary fill
- 319 SF permanent fill
- 234 SF permanent shading



GENERAL CONCRETE NOTES

1. ALL CONCRETE SHALL COMPLY WITH THE LATEST RECOMMENDATIONS AND SPECIFICATIONS OF THE AMERICAN CONCRETE INSTITUTE (ACI) AND THE LOCAL BUILDING CODES.
2. ALL CONCRETE SHALL BE NORMAL WEIGHT PORTLAND CEMENT CONCRETE WITH A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI. WATER CEMENT RATIO TO BE KEPT TO A MINIMUM TO ENHANCE STRENGTH.
3. ALL REINFORCING STEEL SHALL COMPLY WITH ASTM A618 GRADE 60. WELDED WIRE FABRIC SHALL COMPLY TO ASTM A186.
4. LAY ALL REINFORCING BARS AND CHAIRS AT SPACINGS AND OR SPACINGS INDICATED ON DRAWINGS. BARS SHALL BE LAPPED ONE FULL LAP AT JOINTS AND SPACED TO FORM BARS TO LAP.
5. WHERE CONTINUOUS BARS ARE SHOWN, INDICATED OR REQUIRED, THE CONTRACTOR SHALL PROVIDE AN OVERLAP OF 30% OF THE BAR LENGTH AND SHALL PROVIDE A MINIMUM OF 12 BAR SPACINGS THROUGHOUT THE OVERLAP.
6. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE ORDERING, ORDERING AND FORMING. FORMS SHALL BE TO BE APPROVED AND CHECKED AND APPLIED TO FORMS PRIOR TO USE.
7. FORMING SHALL BE ON SUFFICIENT UNDISTURBED SOIL OR COMPACTED GRANULAR FILL TO PROVIDE A MINIMUM BEARING CAPACITY OF 2000 PSF. FORMING SHALL BE PROVED AND CHECKED FOR LEAKS AND SETTLEMENT BEFORE POURING. FORMS SHALL BE PROVED AND CHECKED FOR LEAKS AND SETTLEMENT BEFORE POURING. FORMS SHALL BE PROVED AND CHECKED FOR LEAKS AND SETTLEMENT BEFORE POURING.
8. CONCRETE TEMPERATURES DURING THE POUR SHALL BE MAINTAINED BETWEEN 50 DEGREES F AND 90 DEGREES F. RAPID CURE MUST BE PREVENTED.
9. CONTRACTOR TO DESIGN, FABRICATE AND INSTALL ALL TEMPORARY CONTROLS, BRIDGES AND APPROVALS ACCORDING TO ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS TO MAINTAIN THE WETLANDS AND WATER QUALITY.
10. IF NECESSARY THE CONTRACTOR SHALL PROVIDE THE NECESSARY EQUIPMENT AND CONTROLS TO MAINTAIN THE WETLANDS AND WATER QUALITY.

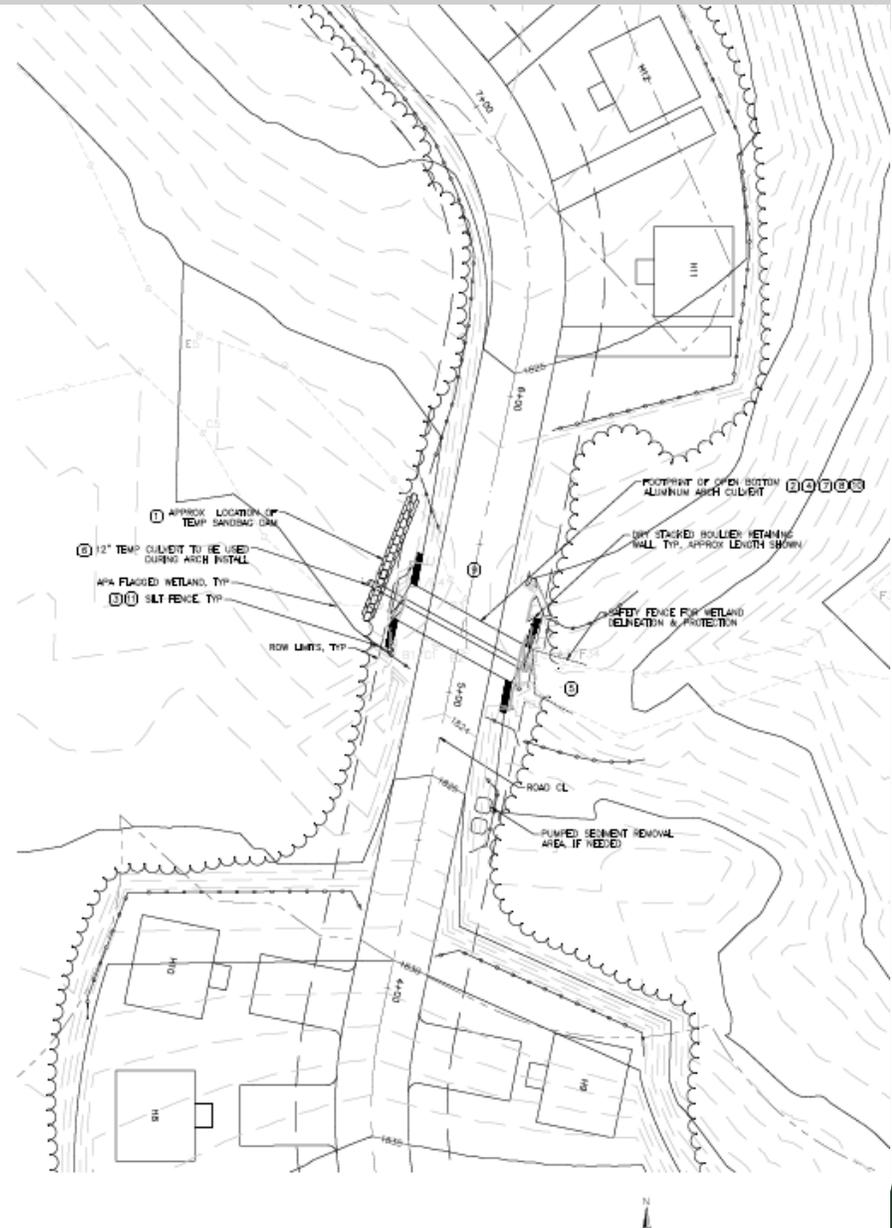
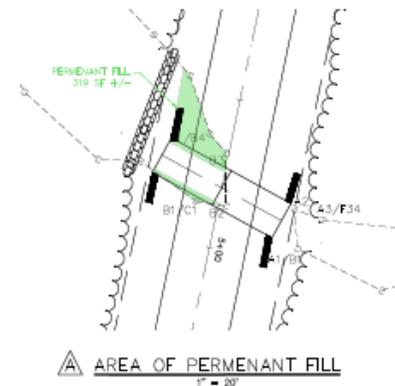
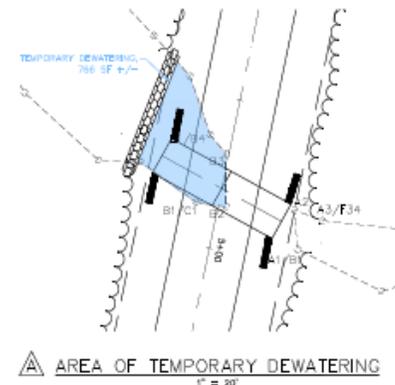
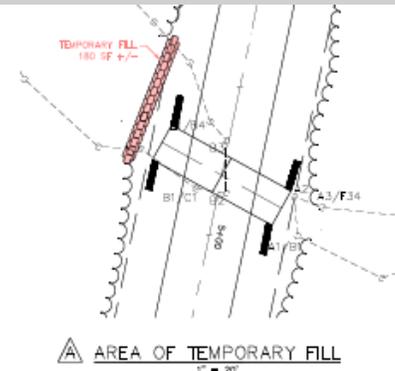
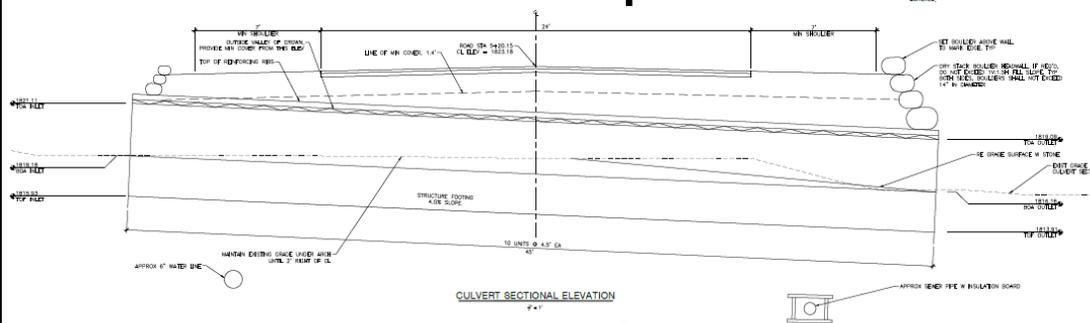
MATERIAL NOTES

1. GRANULAR FILL TO BE USED FOR DRAINAGE SHALL BE 100% SAND OR EQUIVALENT. GRANULAR FILL TO BE USED FOR DRAINAGE SHALL BE 100% SAND OR EQUIVALENT.
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SLAB ARCH INSTALLATION NOTES

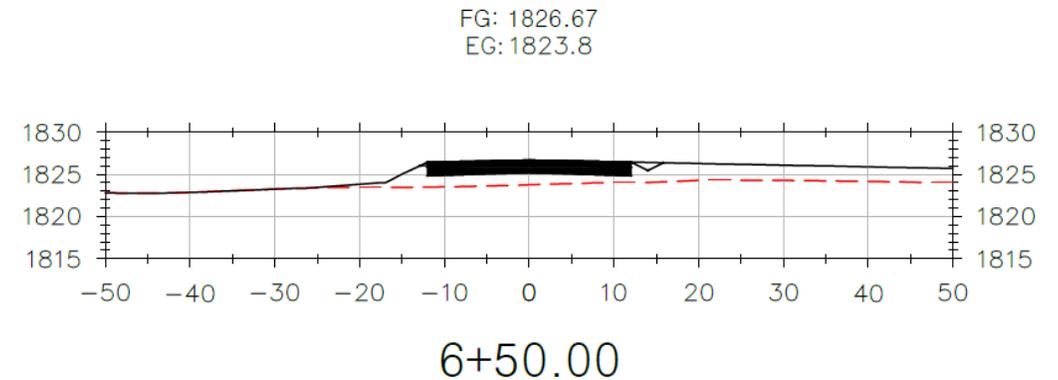
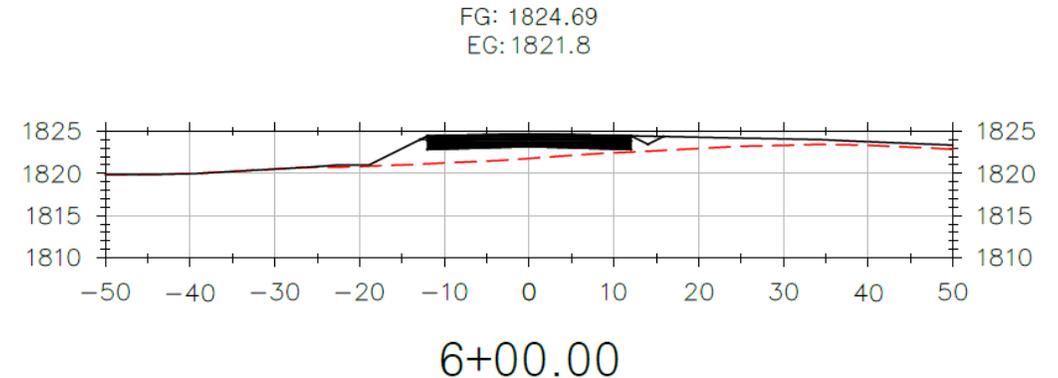
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- 45' x 13' clear span



Additional Plans and Review

- Road Profile and Cross Sections
 - Crowned, curb less design, swales
- Stormwater Pollution Prevention Plan
 - Grass-lined swales
 - Infiltration basins and trenches
- Erosion & Sediment Control Plan
 - Silt fencing / Compost filter socks
 - Stabilized construction entrance
 - Concrete washout
- Wetlands Protection
 - Vegetated buffer
 - Construction fencing
- Utility Layout Details



Review by Others

Review by Others

- Town of North Elba / Village of Lake Placid Joint Review Board
 - Department of Public Works
 - Water and Sewer
 - Lake Placid Municipal Electric
- NYS Department of Health
 - Sanitary Facilities and Water Supply Improvement
- NYS Department of Environmental Conservation
 - Municipal Sewer Extension
 - SPDES General Permit for Stormwater Discharges from Construction Activities
- NYS Department of Transportation
 - No traffic study required
- NYS Office of Parks, Recreation and Historic Preservation
 - No Adverse Impact on historic or cultural resources

Public Comment

Public Comment Opportunities

- Public Notice Form
 - Application Received June 5, 2025
 - Application Complete January 12, 2026
 - Comment period through February 5, 2026
- Agency Website
- Environmental Notice Bulletin

Public Comment

- Comment Period January 12, 2026 – February 5, 2026
 - 6 comments received
- Topics
 - Need for local housing
 - Potential for increased traffic
 - Proximity to wetlands
 - Municipal zoning requirements
- Response From Applicant
 - Describes the measures taken to ensure protection of resources
 - Traffic reviewed by third party consulting engineer
 - Public works department is willing to accept the new infrastructure
 - Confirms the project is subject to municipal review and approval

**Staff Recommendation:
Approve with Conditions**

Draft Permit Conditions

- Location and dimensions of authorized development
- Road construction and stormwater infrastructure
- Activities involving wetlands and wetland protection
- Erosion and Sediment Control
- Connection to municipal wastewater treatment system
- Vegetation removal
- Invasive species control
- Prior approval required for any additional land use or development
- Downward facing lighting
- No additional principal buildings

Conclusions of Law

- Development authorized:
 - ✓ Consistent with land use and development plan
 - ✓ Compatible with character description and purposes policies, and objectives of each land use area
 - ✓ Consistent with overall intensity guidelines
 - ✓ Complies with shoreline restrictions
 - ✓ No undue adverse impact on resources of the Park
 - ✓ Will secure the natural benefits of wetlands associated with the project
 - ✓ Will result in minimal degradation or destruction of the wetland or its associated values



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Park Agency**

Homestead Development

2025-0122

February 19, 2026